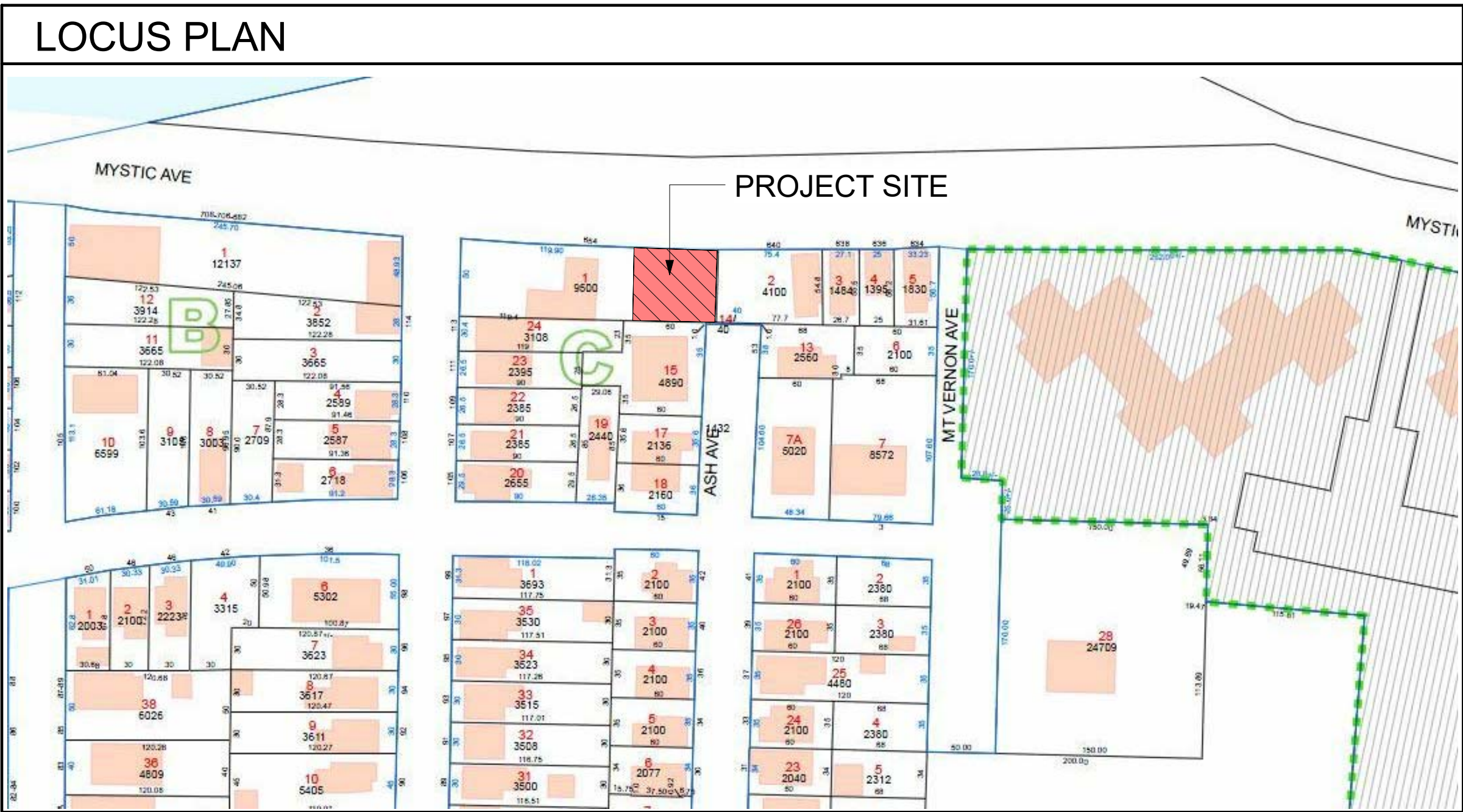
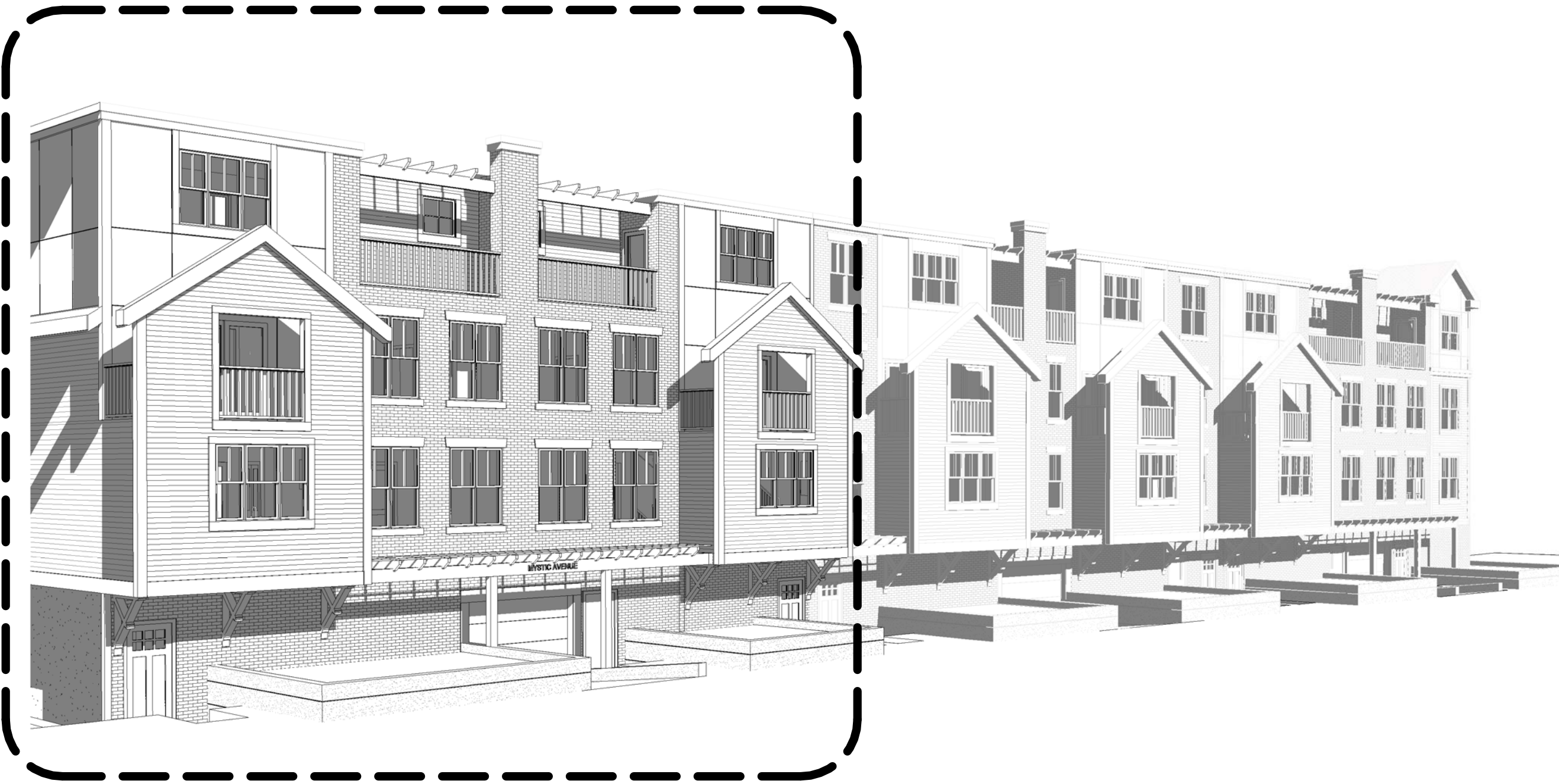


MYSTIC AVENUE RESIDENCES

654 MYSTIC AVENUE,
SOMERVILLE, MA

CD SET
04-18-2018



CLIENT
SUN PROPERTY GROUP
11 ELKINS STREET, #250
BOSTON, MA 02127
T:617-765-0400

PREPARED BY:

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T: 617-591-8682

CIVIL ENGINEER
STRONG CIVIL DESIGN, LLC
ADDRESS:
53 PEACH STREET
BRAINTREE, MA 02184
T:781-974-5844

LANDSCAPE ARCHITECT
VERDANT LANDSCAPE ARCHITECTURE
ADDRESS:
318 HARVARD STREET, SUITE 25
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STRUCTURAL ENGINEER
LEON A BOMBARDIER
ADDRESS:
131 LINCOLN STREET
ABINGTON, MA 02351
T:508-631-3332

Architectural Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
1-Cover Sheet		
A-000	Cover Sheet	04/18/18
2-Civil/Land		
C-1	Existing Condition & Demolition Plan	04/02/18
C-2	Site Plan	04/02/18
C-3	Grading & Stormwater Plan	04/02/18
C-4	Utility Plan	04/02/18
C-5	Subdivision Plan	02/16/16
L-1	Illustrative Landscape Plan	12/20/17
3-Architectural		
A-001	General Notes & Abbreviations	04/18/18
A-010	Code Review	04/18/18
A-020	Architectural Site Plan	04/18/18
A-021	Zoning Grade Elevations	04/18/18
A-022	Zoning Section	04/18/18
A-023	Area Plans	04/18/18
A-100	Foundation Plan	04/18/18
A-101	Garage Plan	04/18/18
A-102	1st Floor Plan	04/18/18
A-103	2nd Floor Plan	04/18/18
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A-105	Roof Plan	04/18/18
A-300	Exterior Elevations	04/18/18
A-400	Cross Sections	04/18/18
A-410	Wall Sections & Details	04/18/18
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A-521	Roof Details - Sloped	04/18/18
A-710	Stair Details	04/18/18
A-800	Window & Door Schedule	04/18/18
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4-Structural		
S-1	Basement & Floor Framing Plans & Details	04/14/18
S-2	Second, Third and Roof Framing Plans & Details	04/14/18
S-3	Sections & Details	04/14/18
S-4	Second, Third & Roof Framing Plans & Details	04/14/18
S-5	Structural Notes	04/14/18

PROJECT NAME
**Mystic Ave
Residences**

PROJECT ADDRESS
654 Mystic Ave.
Somerville, MA

CLIENT
**Sun Property Group,
Inc.**

ARCHITECT

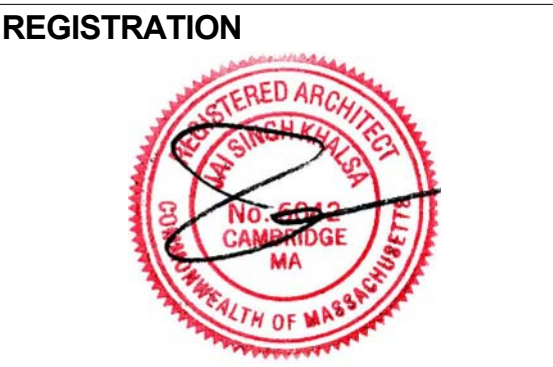


KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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PROSECUTION UNDER LAW



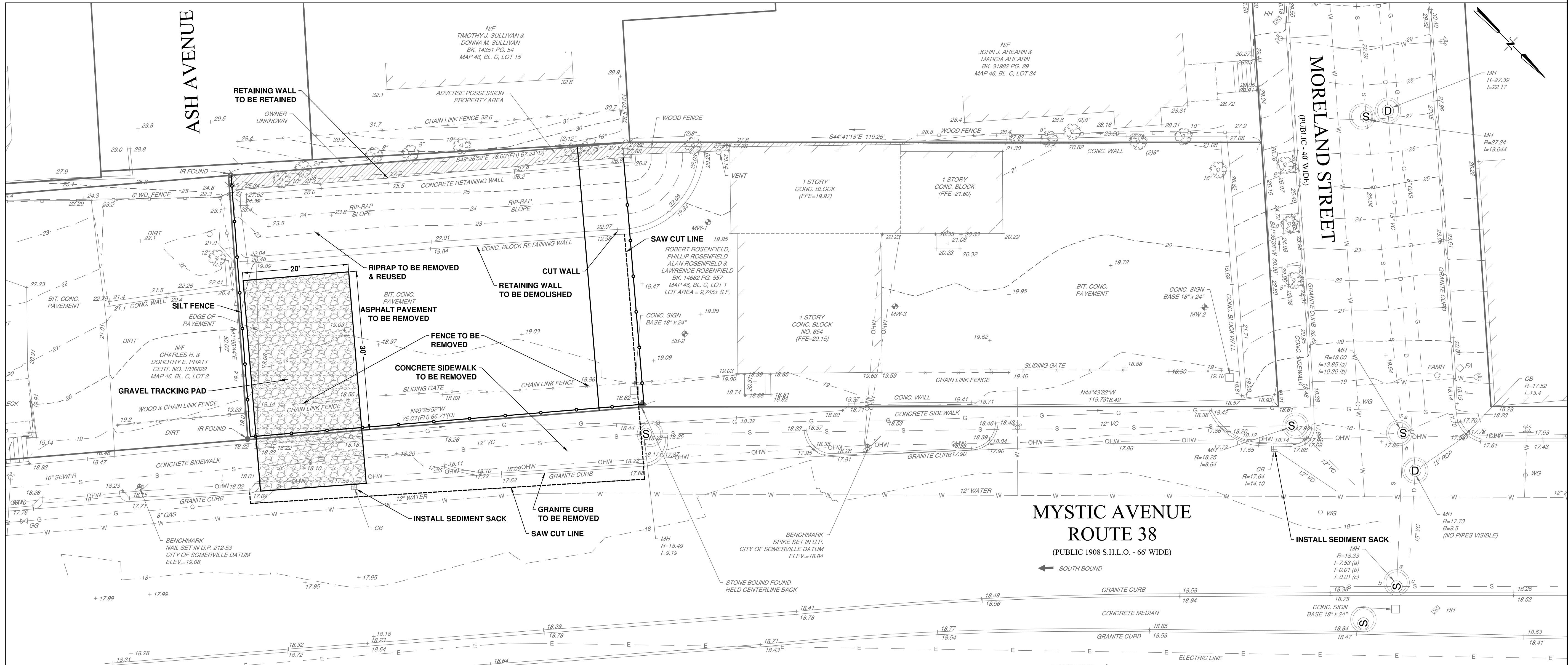
Project number	15106
Date	04-18-2018
Drawn by	W/C
Checked by	KDI
Scale	1" = 1'-0"

REVISIONS		
No.	Description	Date

Cover Sheet

A-000

Mystic Ave Residences



GENERAL NOTES:

- EXISTING UTILITY, TOPOGRAPHIC AND SURFACE CONDITIONS INFORMATION IS BASED ON THE PLAN TITLED "EXISTING CONDITIONS" PREPARED BY DESIGN CONSULTANT INC., DATED JAN 27, 2016
- THE LOCATION OF SUBSURFACE UTILITIES SHOWN ARE APPROXIMATE AND NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITY LINES AND STRUCTURES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR MUST NOTIFY DIG SAFE PRIOR TO ANY EXCAVATION OR DEMOLITION WORK IN PUBLIC, PRIVATE OR UTILITY COMPANY RIGHT-OF-WAYS OR EASEMENTS.

EROSION CONTROL NOTES:

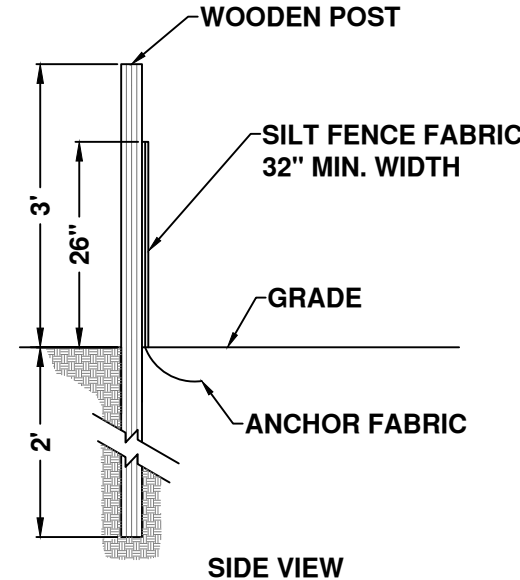
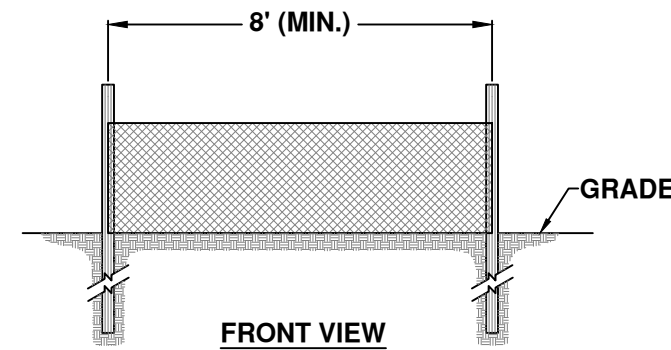
- SILT FENCE SHALL BE PLACED ALONG THE DOWN GRADIENT (NORTHEAST AND SOUTHEAST PROPERTY LINE), AS SHOWN ON PLAN.
- SILT FENCE SHALL BE INSPECTED WEEKLY. FALLEN OR DAMAGED SECTIONS SHALL BE REPLACED OR REPAIRED. ACCUMULATION OF 4 INCHES OF SEDIMENT ADJACENT TO THE FENCE SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS ADJACENT TO THE PROJECT LIMITS, AND SHALL BE INSPECTED WEEKLY. SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- BASED ON CONSTRUCTION ACTIVITIES TEMPORARY RETENTION BASINS SHALL BE INSTALLED AT THE DISCRETION OF THE ENGINEER OR CITY TO CONTROL EROSION.
- WATER TRUCK SHALL BE AVAILABLE ON SITE TO SPRAY DOWN EXPOSED SOILS BASED ON WEATHER CONDITIONS.
- ALL CONSTRUCTION EQUIPMENT SHALL ENTER AND EXIT FROM THE GRAVEL TRACKING PAD ALONG MYSTIC AVENUE.
- TRUCK TIRES SHALL BE SPRAYED DOWN ON TRACKING PAD PRIOR TO EXITING THE SITE.
- STREET PAVEMENT SHALL BE SWEEPED AND CLEANED DAILY TO REMOVE ANY SOILS TRACKED BY CONSTRUCTION EQUIPMENT.
- ADDITIONAL EROSION CONTROL MEASURES REQUESTED BY THE ENGINEER OR THE CITY MAY BE REQUIRED TO BE INSTALLED AT ANY TIME DURING CONSTRUCTION.



- GRAVEL TRACKING PAD SHALL BE A MINIMUM OF 14' WIDE AND 30' LONG.

- GRAVEL PAD SHALL BE CHECKED DAILY, AND ADDITIONAL STONE SHALL BE ADDED AS NEEDED TO MAINTAIN A MINIMUM OF 4\"/>

TEMPORARY GRAVEL TRACKING PAD SECTION (N.T.S.)

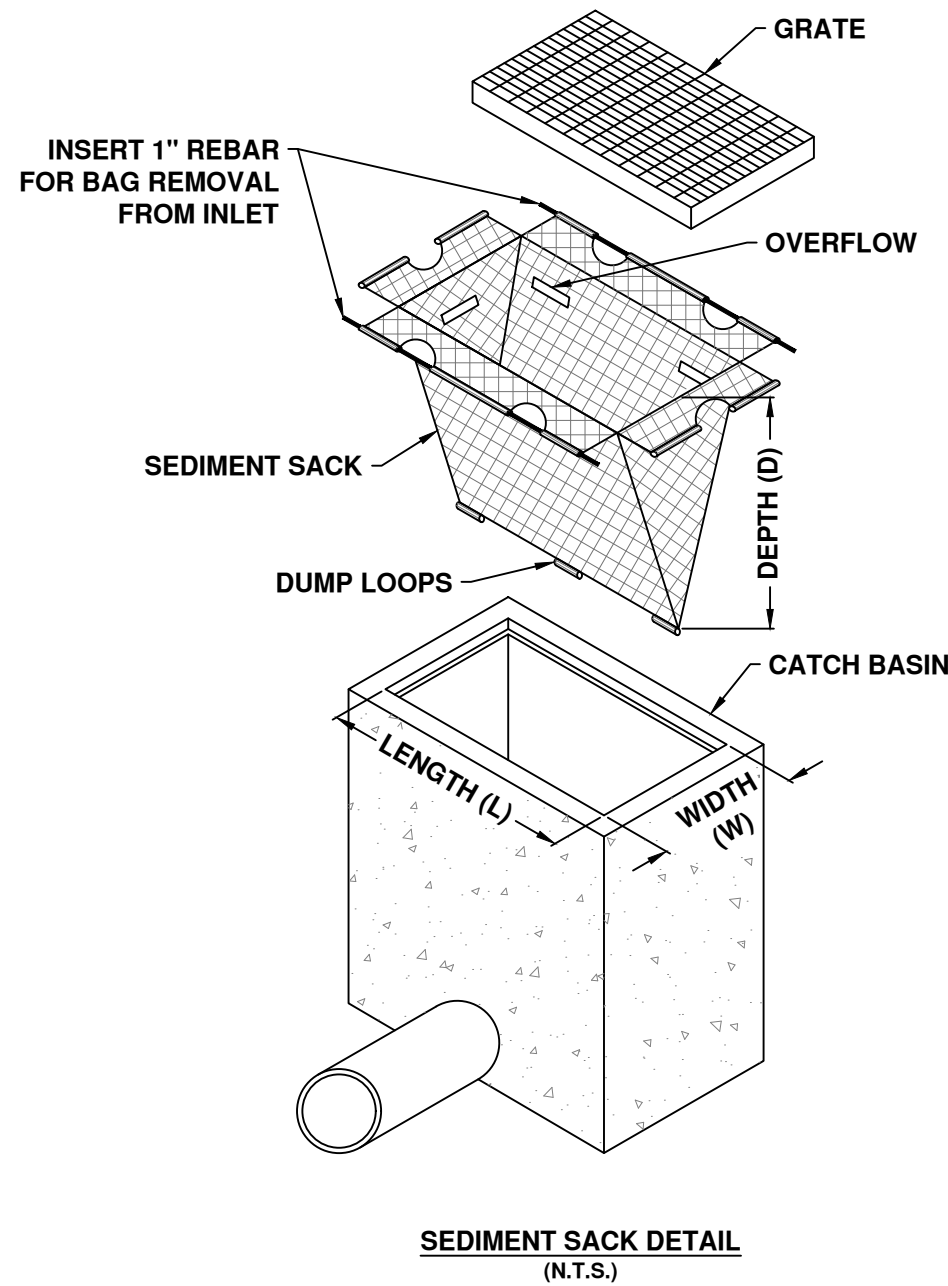


SILT FENCE DETAIL (N.T.S.)

TEST PIT INFORMATION (PERFORMED ON 03/03/16)				
Test Pit	Surface Elevation	Observed Ground Water Elev.	Soil Texture	Hydrologic Soil Group
MW-1	19.95	18.45	Loamy Sand	A/D
MW-2	19.50	14.50	Loamy Sand	B
MW-3	19.90	17.90	Loamy Sand	B
SB-2	19.50	13.50	Loamy Sand	B

NOTES:

- TEST PITS INFORMATION FOR LOCATION, DEPTH TO OBSERVED GROUNDWATER, AND SOIL TEXTURE INFORMATION WAS OBTAINED FROM A REPORT TITLED "PHASE II ENVIRONMENTAL SITE ASSESSMENT" BY ROUX ASSOCIATES, INC., DATED APRIL 5, 2016
- HYDROLOGIC SOIL GROUP CLASSIFICATIONS IS BASED ON CHAPTER 7 OF PART 630 IN THE NATION ENGINEERING HANDBOOK.



Revisions:	No.	Description	Date
1	---	---	---

Engineer's Stamp:



Project Title:


MYSTIC AVE RESIDENCES AT 654 MYSTIC AVENUE IN SOMERVILLE MASSACHUSETTS

Prepared For:
Sun Property Group, Inc.
11 Elkins Street, #250
Boston, MA 02127

Drawing Title:

EXISTING CONDITION & DEMOLITION PLAN

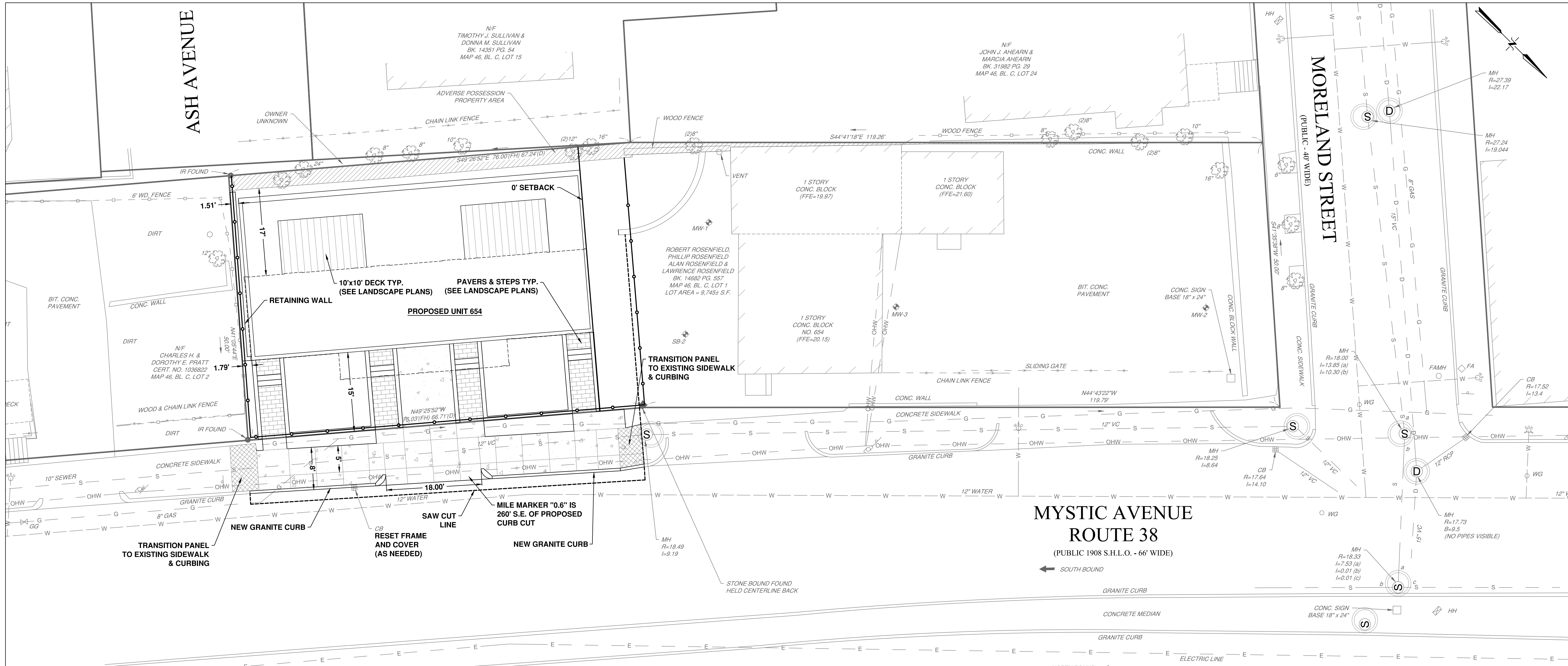
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Prepared By:
 STRONG CIVIL DESIGN, LLC
53 PEACH STREET
BRAINTREE, MA 02184
(781) 974-5844

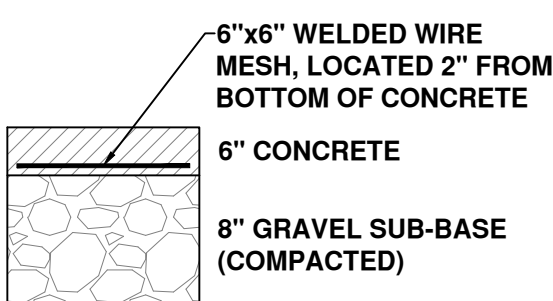
Date: April 02, 2018
Project No.: 016-001-22-297-2016
Engineer: Daniel R. Armstrong, P.E.
Drawing Name:
Mystic_SCD.dwg

Drawing No.

1

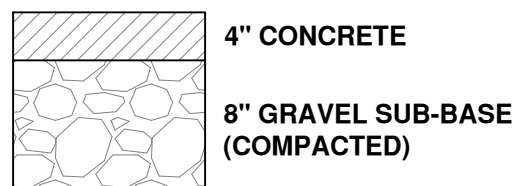


GENERAL NOTES:
• PROJECT IS LOCATED IN MASSDOT DISTRICT 4



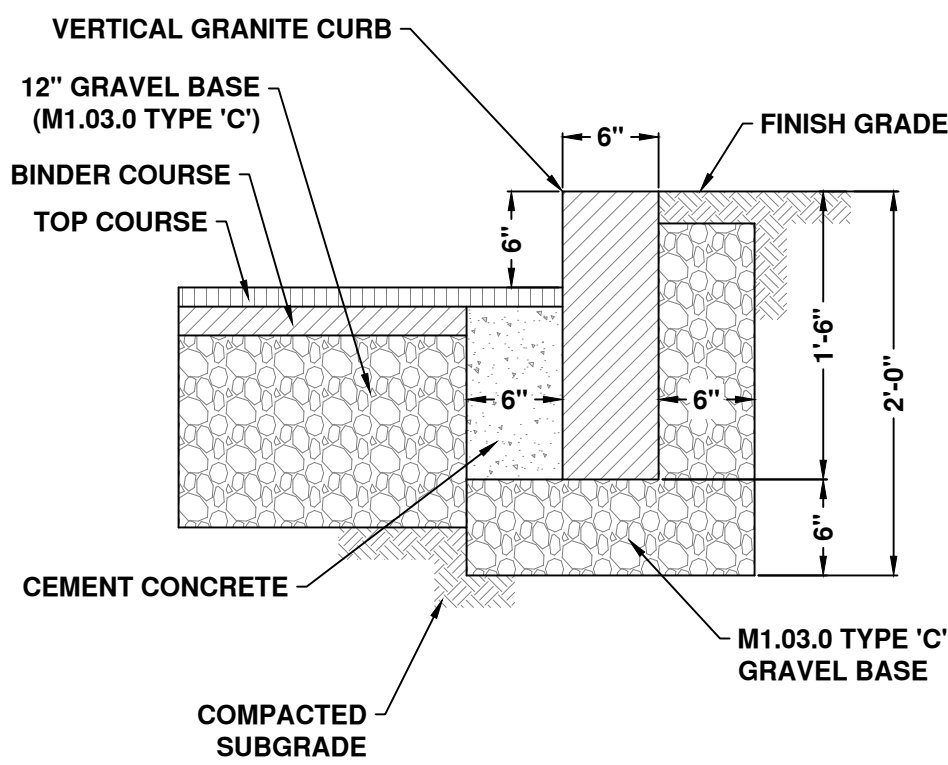
- GRAVEL SUB-BASE SHALL CONFORM TO MASS DOT SPECIFICATION M1.03.0 TYPE 'C'

TYPICAL DRIVEWAY SECTION
(N.T.S.)

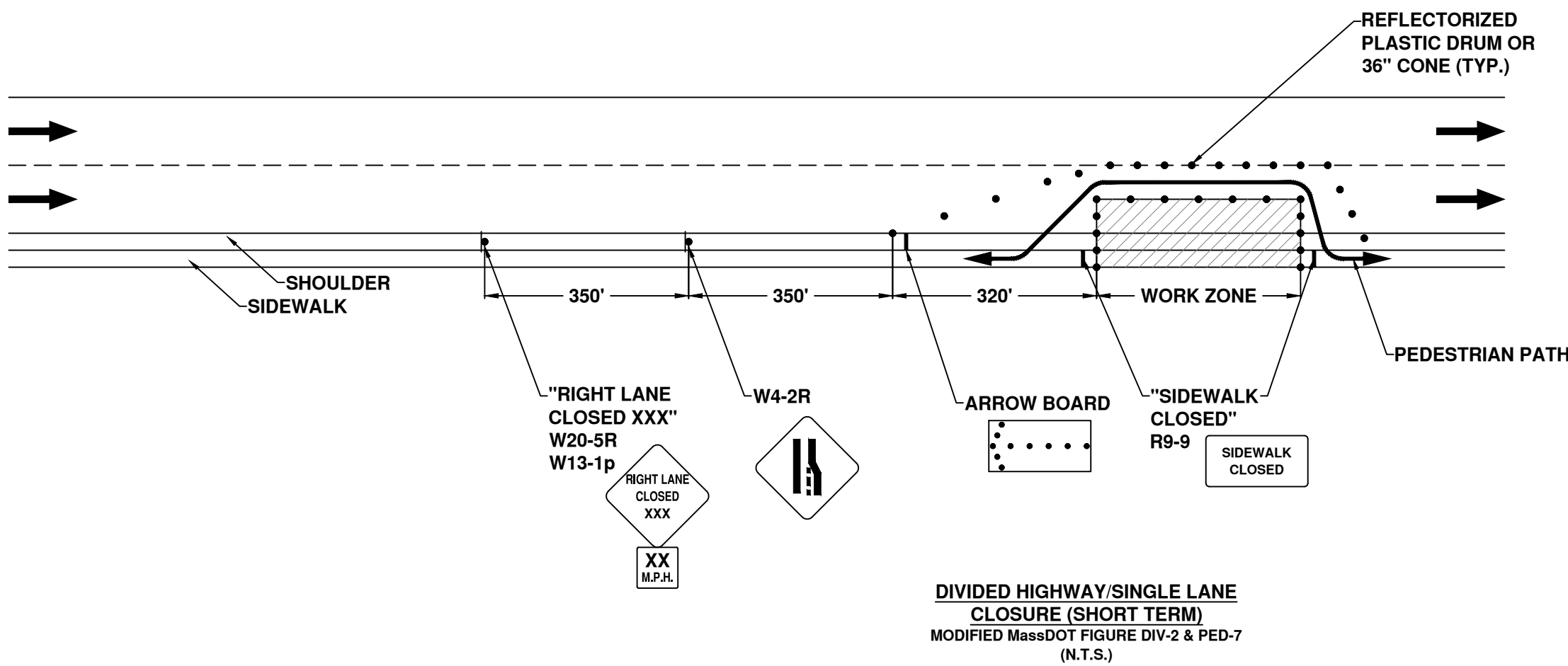


- GRAVEL SUB-BASE SHALL CONFORM TO MASS DOT SPECIFICATION M1.03.0 TYPE 'C'

TYPICAL SIDEWALK SECTION
(N.T.S.)



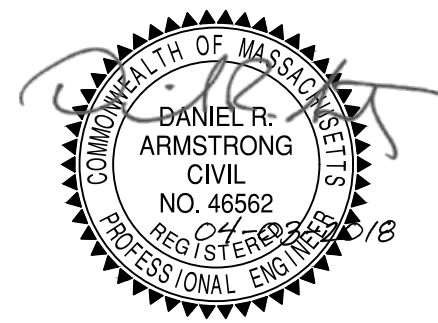
VERTICAL GRANITE CURB
(N.T.S.)



DIVIDED HIGHWAY/SINGLE LANE
CLOSURE (SHORT TERM)
MODIFIED MassDOT FIGURE DIV-2 & PED-7
(N.T.S.)

Revisions:	No.	Description	Date
	1	---	---

Engineer's Stamp:



Project Title:

MYSTIC AVE RESIDENCES AT 654 MYSTIC AVENUE IN SOMERVILLE MASSACHUSETTS

Prepared For:

Sun Property Group, Inc.
11 Elkins Street, #250
Boston, MA 02127

Drawing Title:

SITE PLAN

Scale:



Prepared By:

STRONG CIVIL DESIGN, LLC
53 PEACH STREET
BRAINTREE, MA 02184
(781) 974-5844

Date: April 02, 2018

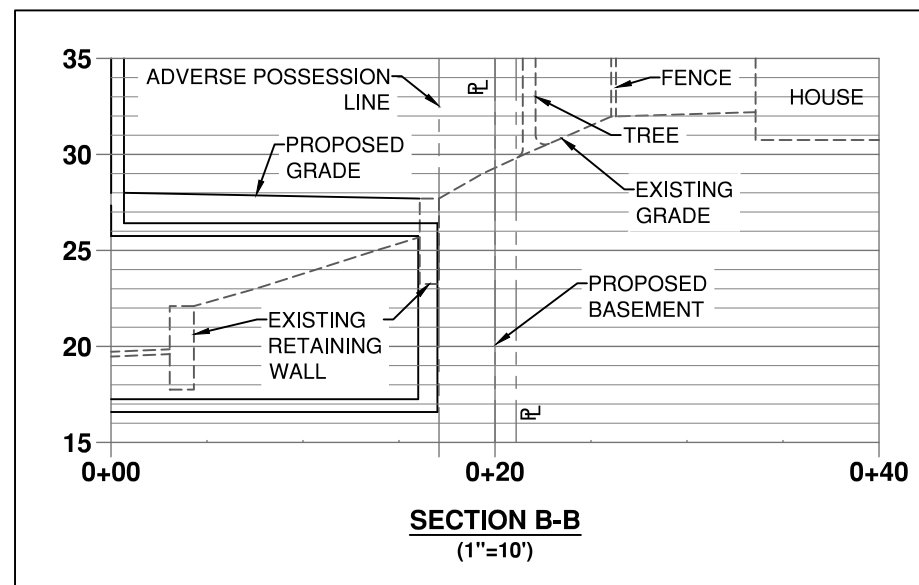
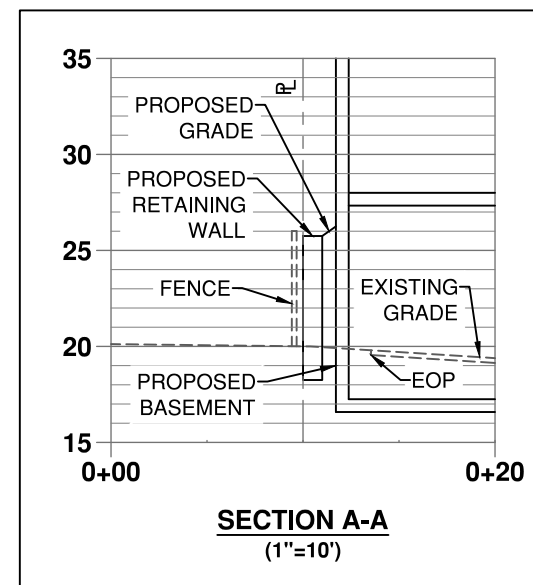
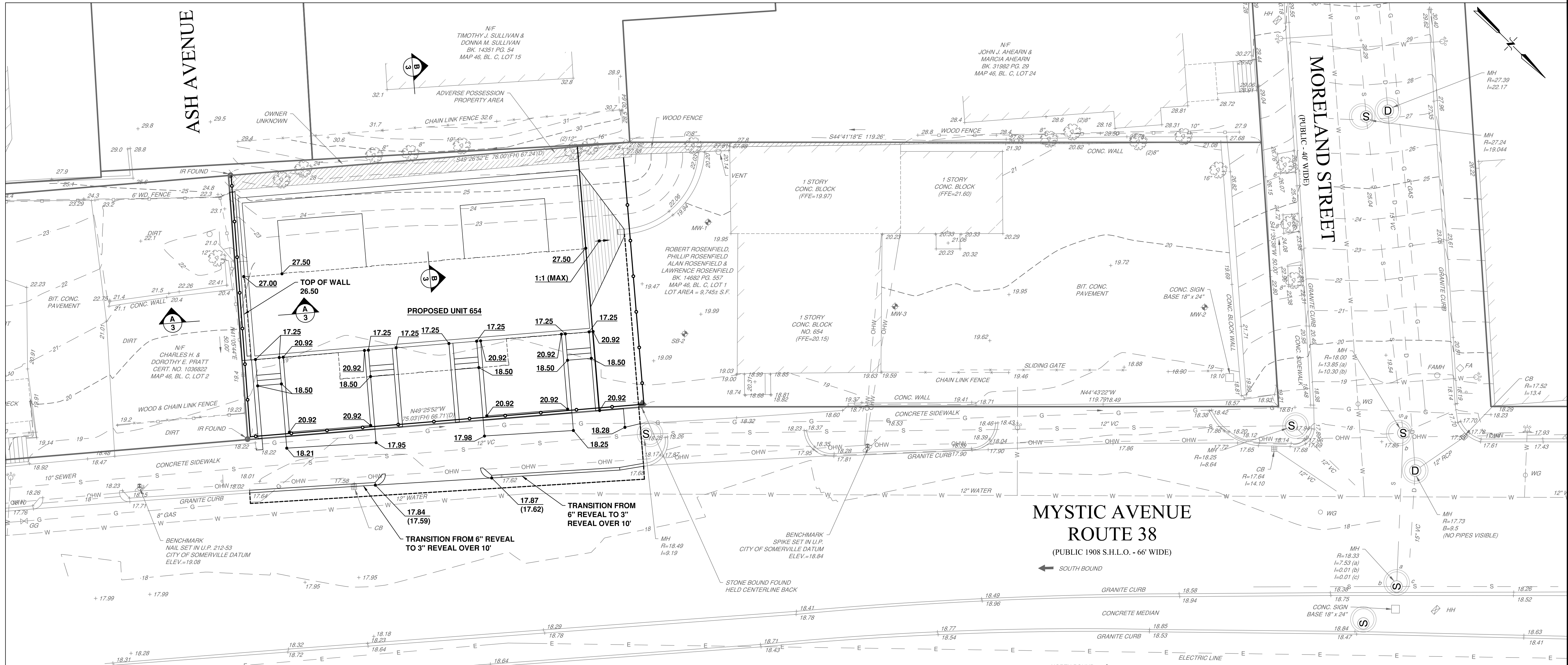
Project No.: 016-001-22-297-2016

Engineer: Daniel R. Armstrong, P.E.

Drawing Name:
Mystic_SCD.dwg

Drawing No.

2



GENERAL NOTES:
• NO ADDITIONAL FILL PROPOSED. EXISTING SOILS ARE SUITABLE FOR RE-GRADING MINUS ANY STONES GREATER THAN 3" OR ANY ORGANIC OR CONTAMINATED MATERIAL.

Revisions:	No.	Description	Date
	1	---	---

Engineer's Stamp:



Project Title:

MYSTIC AVE RESIDENCES AT 654 MYSTIC AVENUE IN SOMERVILLE MASSACHUSETTS

Prepared For:

Sun Property Group, Inc.
11 Elkins Street, #250
Boston, MA 02127

Drawing Title:

GRADING & STORM WATER PLAN

Scale:



Prepared By:

STRONG CIVIL DESIGN, LLC
53 PEACH STREET
BRAINTREE, MA 02184
(781) 974-5844

Date: April 02, 2018

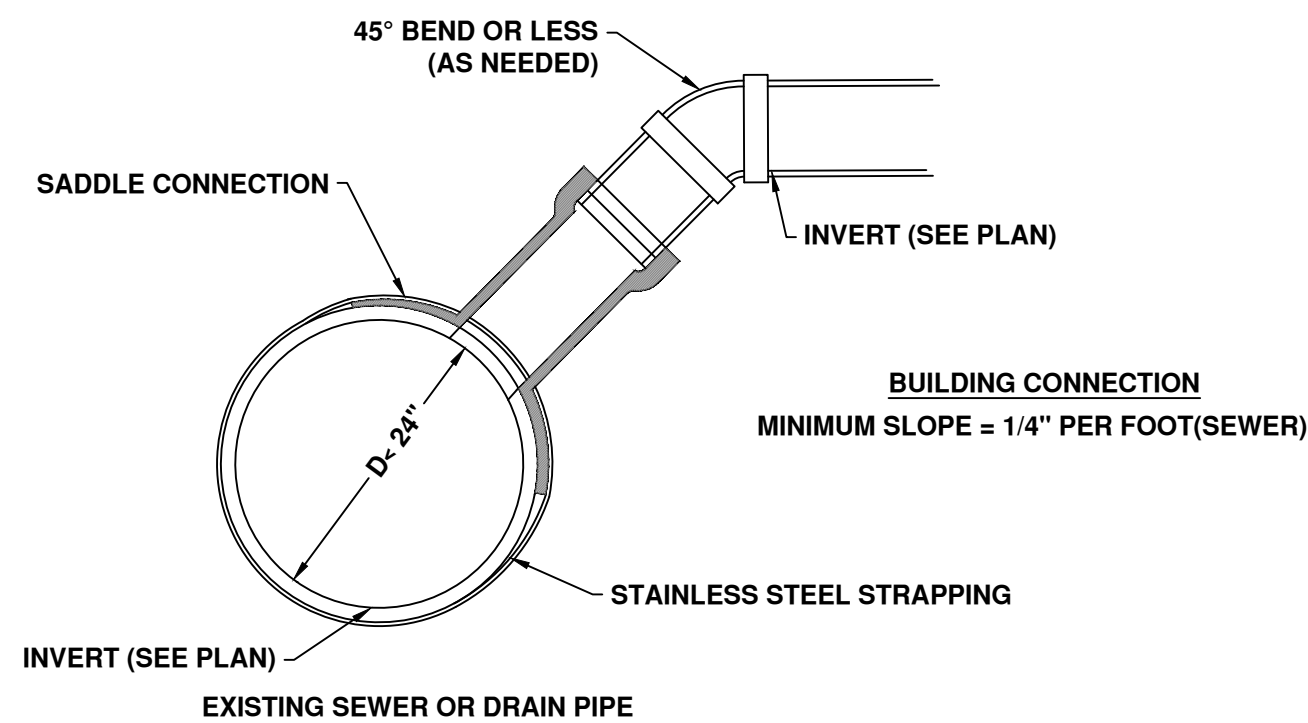
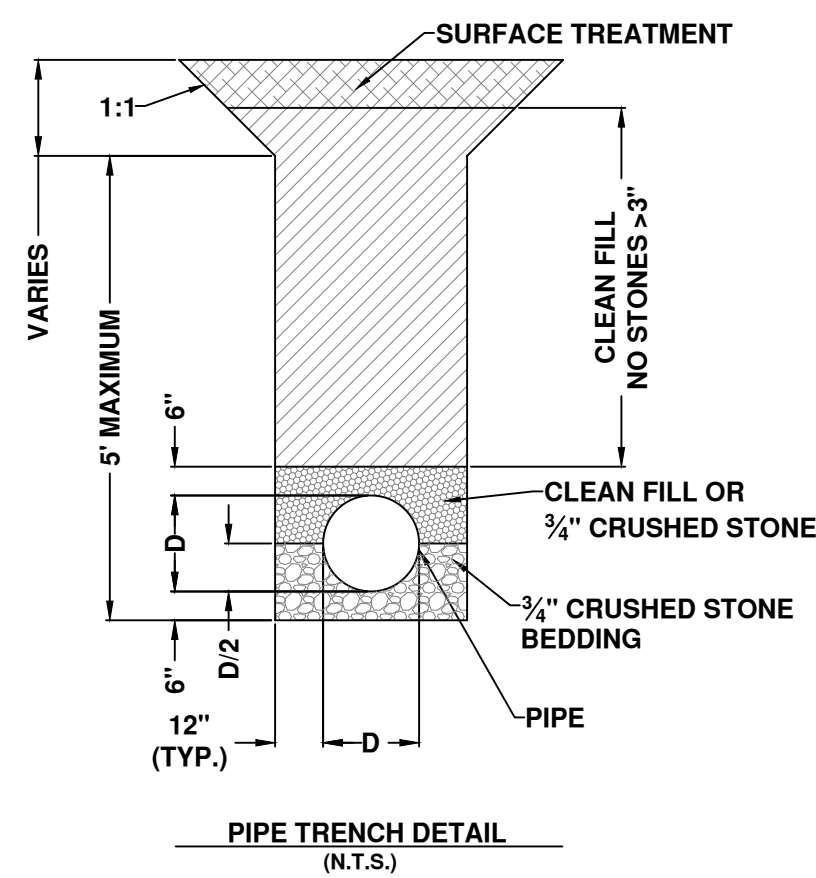
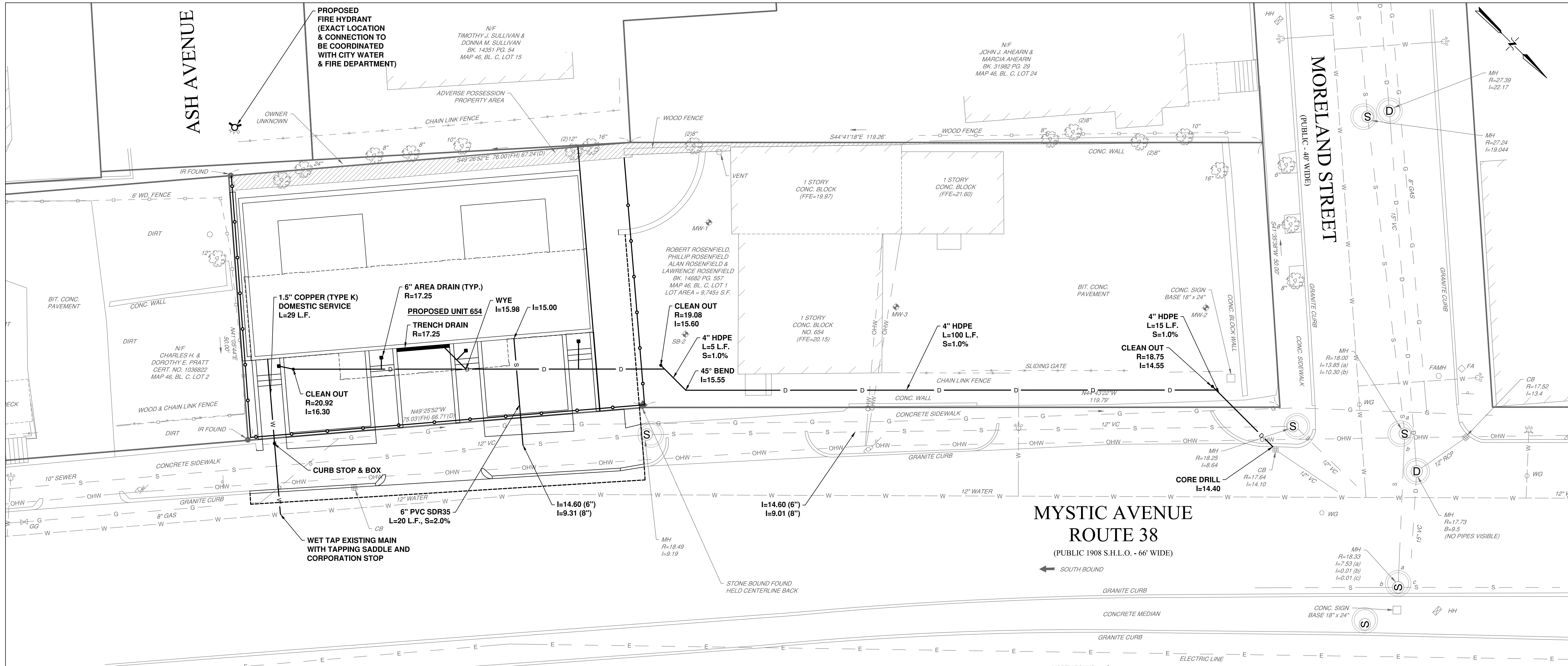
Project No.: 016-001-22-297-2016

Engineer: Daniel R. Armstrong, P.E.

Drawing Name:
Mystic_SCD.dwg

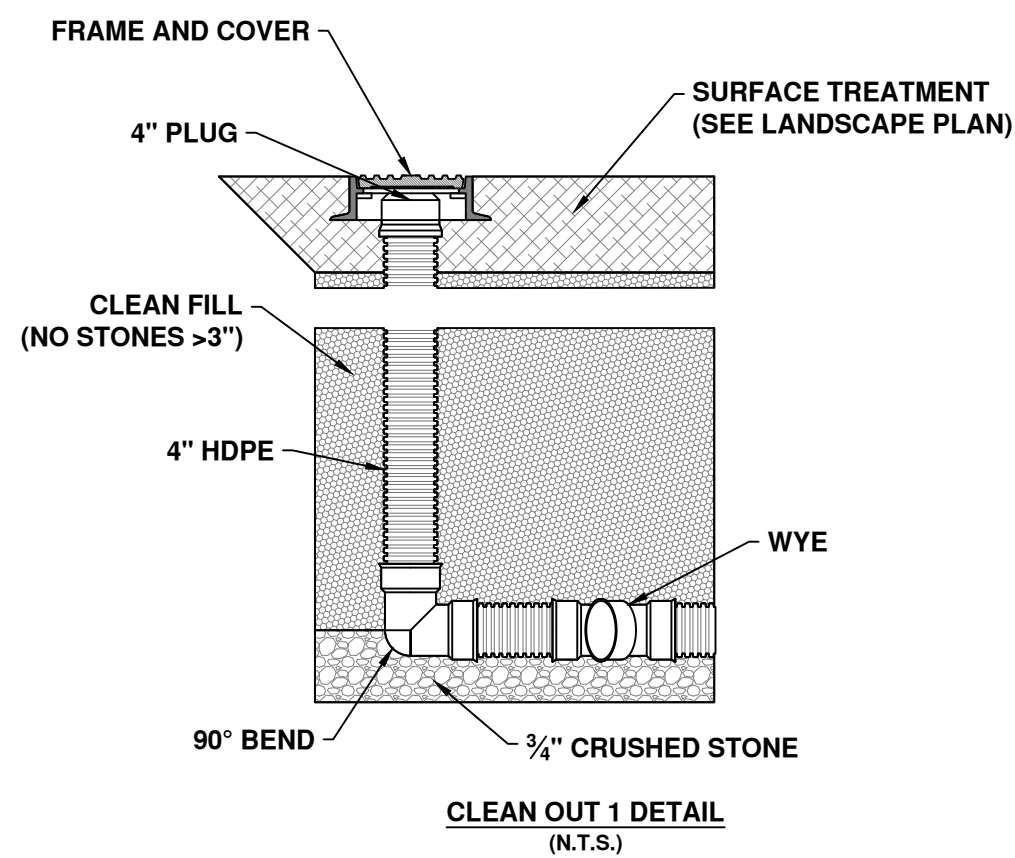
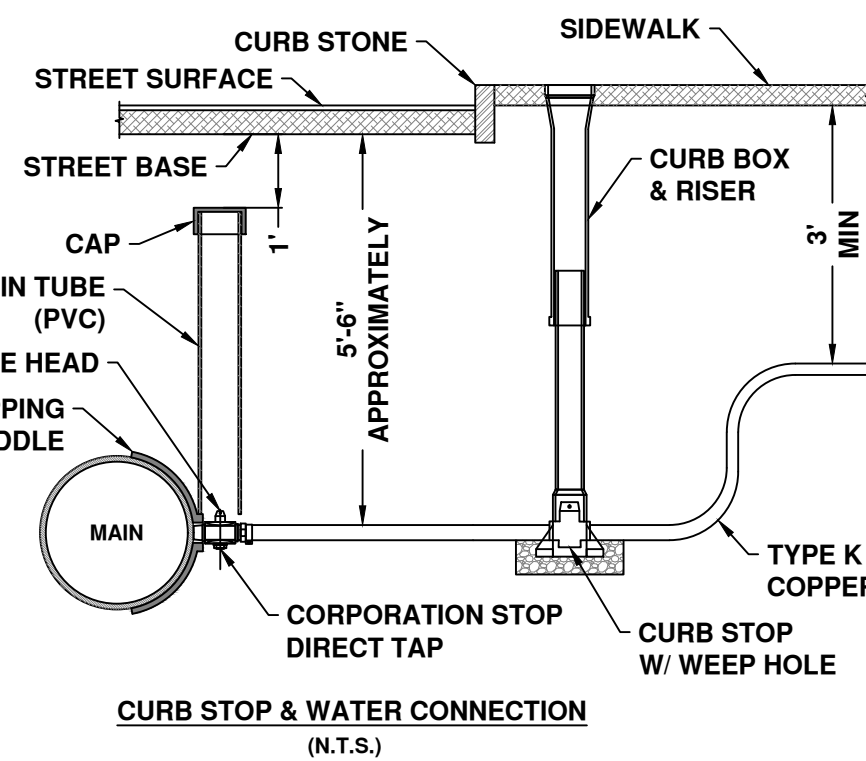
Drawing No.

3



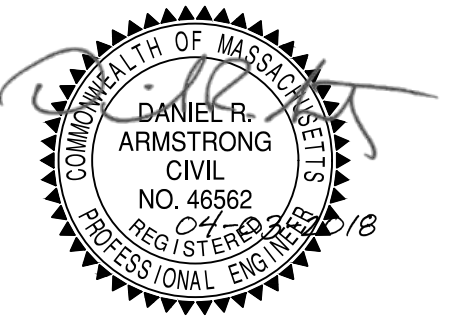
- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

TYPICAL SADDLE CONNECTION TO EXISTING SEWER OR DRAIN



Revisions:		Date
No.	Description	
1	---	---

Engineer's Stamp:



Project Title:


MYSTIC AVE RESIDENCES AT 654 MYSTIC AVENUE IN SOMERVILLE MASSACHUSETTS

Prepared For:
Sun Property Group, Inc.
11 Elkins Street, #250
Boston, MA 02127

Drawing Title:

UTILITY PLAN

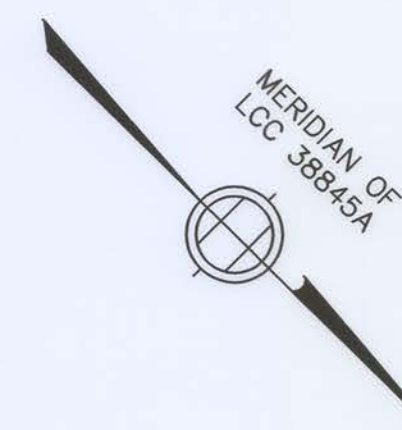


Prepared By:
 STRONG CIVIL DESIGN, LLC
53 PEACH STREET
BRAintree, MA 02184
(781) 974-5844

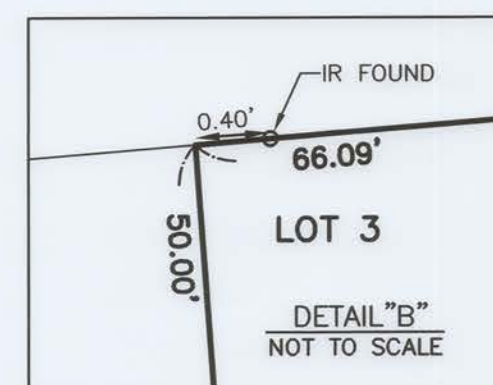
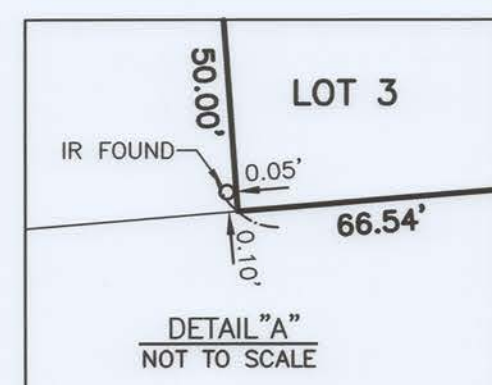
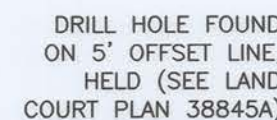
Date: April 02, 2018
Project No.: 016-001-22-297-2016
Engineer: Daniel R. Armstrong, P.E.
Drawing Name:
Mystic_SCD.dwg

Drawing No.

4



RESERVED FOR REGISTERS USE ONLY



NOTES

THE PURPOSE OF THIS PLAN IS TO DIVIDE THE EXISTING PARCEL AS DESCRIBED IN DEED BOOK 14682 PAGE 557 INTO THREE SEPARATE LOTS. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN DECEMBER 8 & DECEMBER 11, 2015, BY DESIGN CONSULTANTS, INC. (DCI).

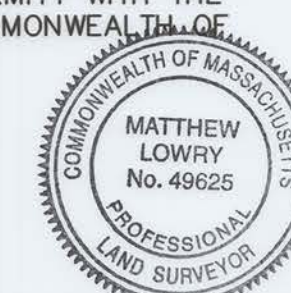
THE CITY OF SOMERVILLE HAS NOT ADOPTED THE SUBDIVISION CONTROL LAW.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. Matthew Lowry
MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49625

DATE 2-16-2016



PLAN REFERENCES:

PLAN 793 of 1987
PLAN BOOK 50 PLAN 46
LAND COURT PLAN 1010A
LAND COURT PLAN 16106A
LAND COURT PLAN 28253A
LAND COURT PLAN 38845A
STATE HIGHWAY LAYOUT No. 1174

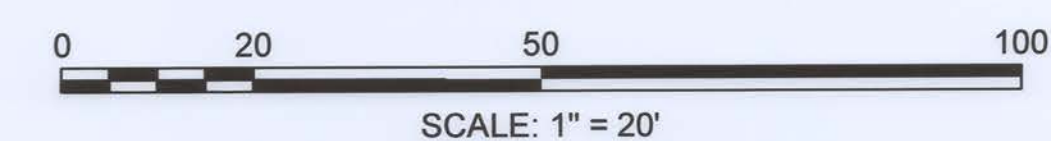
LOCUS TITLE INFORMATION

654 MYSTIC AVENUE

OWNER: ROBERT ROSENFELD, PHILLIP ROSENFELD, ALAN ROSENFELD & LAWRENCE ROSENFELD

DEED REFERENCE: BK. 14682 PG. 557

ASSESSORS: MAP 46, BL. C, LOT 1



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Design Consultants, Inc.
CIVIL ENGINEERS and LAND SURVEYORS

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

SCALE:

HORIZ: 1" = 20'

VERT: _____

[illegible]

FIELD: CN
CALCS: ML
CHECKED: EC
APPROVED: ML

SUBDIVISION PLAN

654 MYSTIC AVENUE

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
SURVEYED FOR
SUN PROPERTY GROUP

PROJECT NO.
2015-116

DATE: JAN. 27, 2016

SHEET NO.

1 OF 1

P:\2015 Projects\2015-116 654 Mystic Ave Somerville\Dwg_SURVEYING\15-116SD.dwg

PROPOSED PLANT LIST

Trees:

6	AR	Acer rubrum 'October Glory'	Fastigate Red Maple	2.5" cal. B&B
3	LT	Liriodendron tulipifera	Tuliptree	3" cal. B&B

Shrubs:

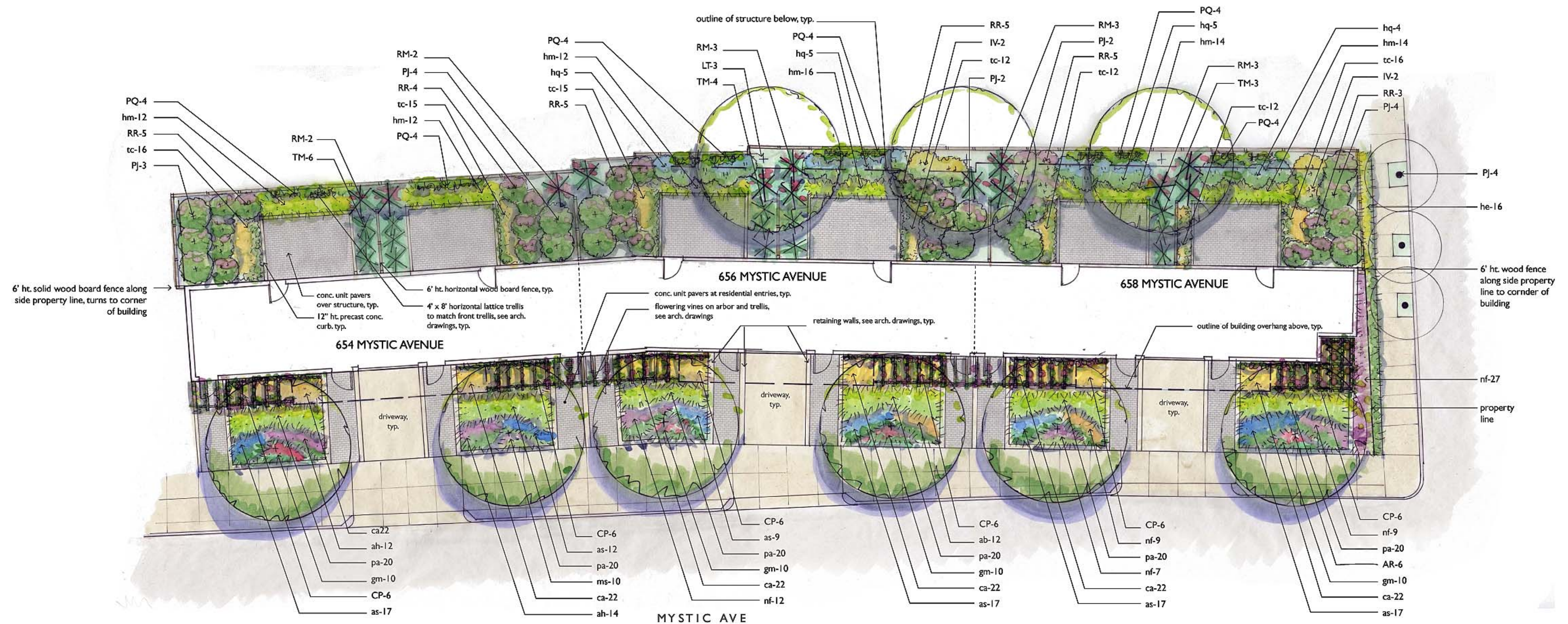
2	IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	24-36" ht.
15	PJ	Pieris japonica 'Brouwer's Beauty'	Japanese Andromeda	30-36" ht. B&B
13	RM	Rhododendron maximum	Rhododendron	30-36" ht. B&B
23	RR	Rhododendron 'Ramapo'	Ramapo Rhododendron	30-36" ht.
13	TM	Taxus media 'Nigra'	Japanese Yew	24-36" ht.

Perennials:

12	ab	Amsonia	Blue Star	1 gal. Pots
26	ah	Astilbe simplicifolia 'Hennie Graafland'	Astilbe	1 gal. Pots
89	as	Amsonia 'Seafoam Skies'	Amsonia	1 gal. Pots
132	ca	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal. Pots
50	gm	Geranium macrorrhizum 'Bevan's Variety'	Bevan's Geranium	1 gal. Pots
16	he	Hemerocallis 'Happy Returns'	Daylily	2 gal. Pots
80	hm	Hakonechloa macra 'Aureola'	Hakone Grass	2 gal. Pots
19	hq	Hydrangea quercifolia	Oakleaf Hydrangea	5 gal. Pots
10	ms	Monarda 'Scorpion'	Beebalm	1 gal. Pots
64	nf	Nepeta 'Walkers Low'	Catmint	2 gal. Pots
120	pa	Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	2 gal. Pots
98	tc	Tiarella cordifolia	Foamflower	1 gal. Pots

Vines:

36	CP	Geranium macrorrhizum 'Bevan's Variety'	Bevan's Geranium	5 gal. Pots
24	PQ	Parthenocissus quinquefolia	Virginia Creeper	5 gal. Pots



SCALE: 1/8"=1'-0"



ARCHITECTURAL ABBREVIATIONS

A		C		E		F		J		N		R		S		W	
		CD	COILING DOOR	EJT	EXPANSION JOINT	FS	FULL SIZE	JAN	JANITOR	NA	NOT APPLICABLE	R	RADIUS	STS	STEEL STRUCTURE	W	WIDTH/WIDE
		CG	COILING GRILLE	EL	ELEVATION	FB	FIRE BLANKET	JB	JUNCTION BOX	NIC	NOT IN CONTRACT	RIS	RISER	SUPV	SUPERVISOR	W	WIDE FLANGE
		CL	CENTER LINE	ELEC	ELECTRICAL	FD	FLOOR DRAIN	JST	JOIST	NO	NUMBER	RA	RETURN AIR	SUSP	SUSPENDED	WO	WITHOUT
		CLG	CEILING	ELEV	ELEVATOR	FSTOP	FIRESTOPPING	JT	JOINT	NOM	NOMINAL	RAD	RADIATION	SW	STEEL WINDOWS	WC	WATER CLOSET
AB	ANCHOR BOLT	CLR	CLEAR	EMERG	EMERGENCY	FT	FOOT/FEET	RT	RESILIENT BASE	NRC	NOISE REDUCTION	RB	ROOF DRAIN	SW	SWITCH	WC	WALL COVERING
ACFL	ACCESS FLOOR	CM	CONSTRUCTION MANAGER	ENCL	ENCLOSURE	FTG	FOOTING	RF	ROOF FLOOR	NFC	NOISE COEFFICIENT	RE	RELOCATE EXISTING	SWD	SOFTWOOD	WD	WOOD
ACT	ACOUSTICAL CEILING TILE	CMU	CONCRETE MASONRY UNIT	ENTR	ENTRANCE	FTR	FIN TUBE RADIATION	RFR	RELOCATE EXISTING	NT	NOTE	REC	RECESSED	SYM	SYMMETRICAL	WDW	WINDOW
AD	AREA DRAIN	CO	CASED OPENING	EQ	EQUAL	FURR	FURRING	REF	REFERENCE	NTS	NOT TO SCALE	REF	REFERENCE			WG	WALL GUARD
ADD	ADDENDUM	COL	COLUMN	EQUIP	EQUIPMENT	FUT	FUTURE	REFR	REFRIGERATOR			REG	REGISTER			WH	WALL HYDRANT
ADJ	ADJUSTABLE	COMB	COMBINATION	ES	END SECTION			REINF	REINFORCE/ED/ING			REIN	REINFORCE/ED/ING			WHTR	WATER HEATER
ADJ	ADJACENT	CONC	CONCRETE	EWC	ELECTRIC WATER COOLER			REM	REMOVE			REQD	REQUIRED			WP	WATERPROOF
ADMIN	ADMINISTRATION	CONF	CONFERENCE	EXH	EXHAUST HOOD			RET	RETAINING			REV	REVERSE			WR	WASTE RECEPTACLE
AFF	AIR HANDLING UNIT	CONN	CONNECTION	EXIST	EXISTING			REV	REVERSE			REVISE	REVERSE	T	TOP	WS	WEATHERSTRIP
ALT	ALTERNATE	CONST	CONSTRUCTION	EXP	EXPANSION			RF	RESILIENT FLOOR			RF	RESILIENT FLOOR	TAN	TANGENT	WSC	WALL SCOT
ALUM	ALUMINUM	CONT	CONTINUOUS	EXH	EXHAUST HOOD			RH	ROOM HATCH			RH	ROOM HATCH	TBD	TACKBOARD	WT	WINDOW TREATMENT
ANUN	ANUNCIATOR	CONTR	CONTRACTOR	EXIST	EXISTING			RM	ROOM			RM	ROOM	TC	TIME CLOCK	WT	WEIGHT
AP	ACCESS PANEL	COORD	COORDINATE	EXT	EXTERIOR			RO	ROUGH OPENING			RO	ROUGH OPENING	TCAB	TOWEL CABINET	WW	WOOD WINDOW
APC	ARCHITECTURAL PRECAST CONCRETE	CORR	CORRIDOR	E	EXISTING			RS	ROUGH SLAB			RWC	RAIN WATER CONDUCTOR	TDISP	TISSUE DISPENSER	WWF	WELDED WIRE FABRIC
		CPT	CARPET	E	EXISTING			TR	TREAD					TDR	TRENCH DRAIN		
APPROX	APPROXIMATE	CTR	CENTER	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM			TER	TERRAZZO					TEL	TELEPHONE		
ARCH	ARCHITECTURAL	CTSK	COUNTERSUNK	EJT	EXPANSION JOINT			THRES	THRESHOLD					TEMP	TEMPERATURE		
AUTO	AUTOMATIC	CUH	CABINET UNIT HEATER	EL	ELEVATION			TPG	TONGUE & GROOVE					TR	TREAD		
AWT	ACOUSTICAL WALL TREATMENT	CW	CURTAIN WALL	ELEV	ELEVATOR			TPH	TOILET PAPER HOLDER					TRANSF	TRANSFORMER		
		CYL	CYLINDER	EMERG	EMERGENCY			TS	TUBE SECTION					TV	TELEVISION		
				ENCL	ENCLOSURE			TYP	TYPICAL								
				ENTR	ENTRANCE												
				EQ	EQUAL												
				EQUIP	EQUIPMENT												
				ES	END SECTION												
				EWC	ELECTRIC WATER COOLER												
				EVA	EXHAUST AIR												
				EXC	EXCAVATE/ED/ION												
				EXH	EXHAUST HOOD												
				EXIST	EXISTING												
				EXT	EXTERIOR												

SYMBOLS

	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	CASEWORK TYPE		ROOM/SPACE NUMBER
	INTERIOR WINDOW TYPE		DOOR NUMBER
	WINDOW TYPE		SEALANT AND BACKER ROD JOINT
	COLUMN REFERENCE GRID		DASH AND DOT CENTER LINE
	BUILDING SECTION REFERENCE DRAWING NUMBER		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	WALL SECTION REFERENCE DRAWING NUMBER		
	SECTION DETAIL REFERENCE DRAWING NUMBER		
	DIMENSION LINE		
	BREAK LINE TO BREAK OFF PARTS OF A DRAWING		
	DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND		

INDICATION OF MATERIALS

EARTH		EARTH/ COMPACT FILL		POROUS FILL/ GRAVEL
CONCRETE		CONCRETE		SAND MORTAR
MASONRY		BRICK		CONCRETE MASONRY UNIT
STONE		RUBBLE		MARBLE
METAL		STEEL/IRON		ALUMINUM
WOOD		WOOD SHIM		CONTINUOUS BLOCKING
		PLYWOOD		FINISH
GLASS		GLASS		GLASS BLOCK
INSULATION		BATT/ LOOSE FILL		RIGID
		FIRE SAFING		
FINISHES		GYPSUM WALL BOARD		ACOUSTICAL TILE

GENERAL NOTES

- GENERAL CONDITIONS : THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
- SCOPE : WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
- CODES : ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY : WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
- COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF THE SITE AND DOCUMENTS : THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS. TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL : PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO BE 5/8in FIRE CODE OR 1/2in GYPSUM BOARD, 5/8in MOISTURE RESISTANT TYPE X OR 5/8in CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT. TILE, WOOD TRIM, VVC, OR PANELING.
- STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
- PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
- THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION : REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS 1 in WITH A FLAME SPREAD RATING OF 0 TO .25.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME

Mystic Ave
Residences

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

CLIENT

Sun Property Group,
Inc.

ARCHITECT



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Project number	15106
Date	04-18-2018
Drawn by	RC
Checked by	JSK
Scale	1 : 1

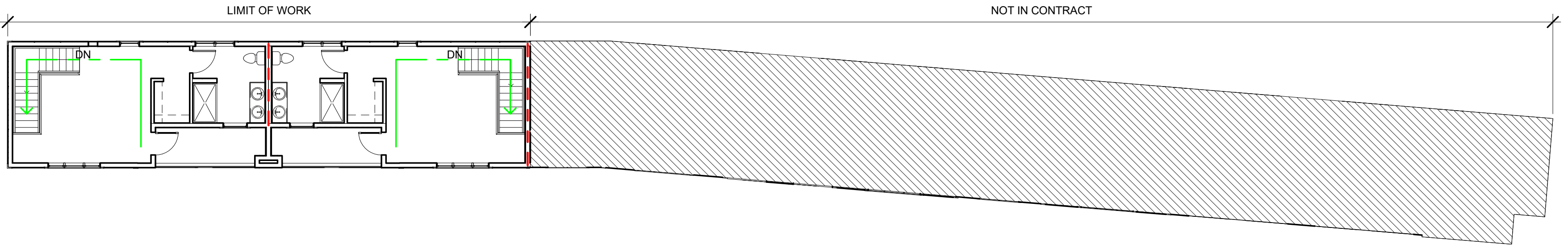
REVISIONS

No.	Description	Date

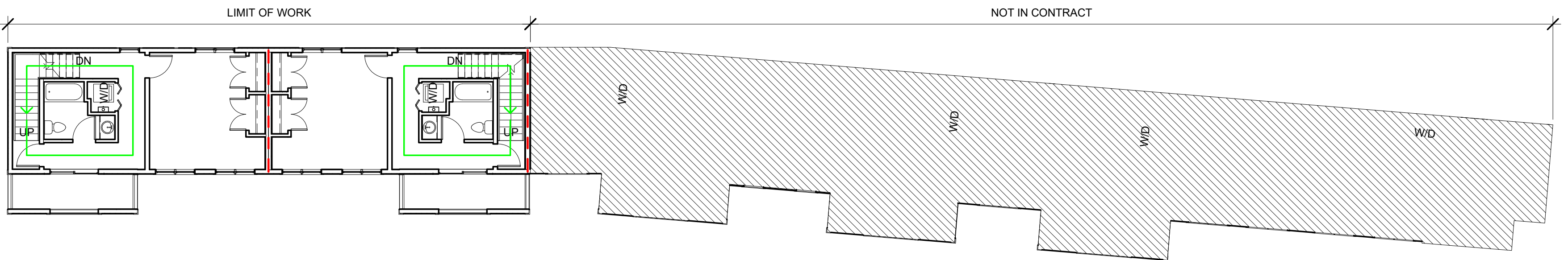
General Notes &
Abbreviations

A-001

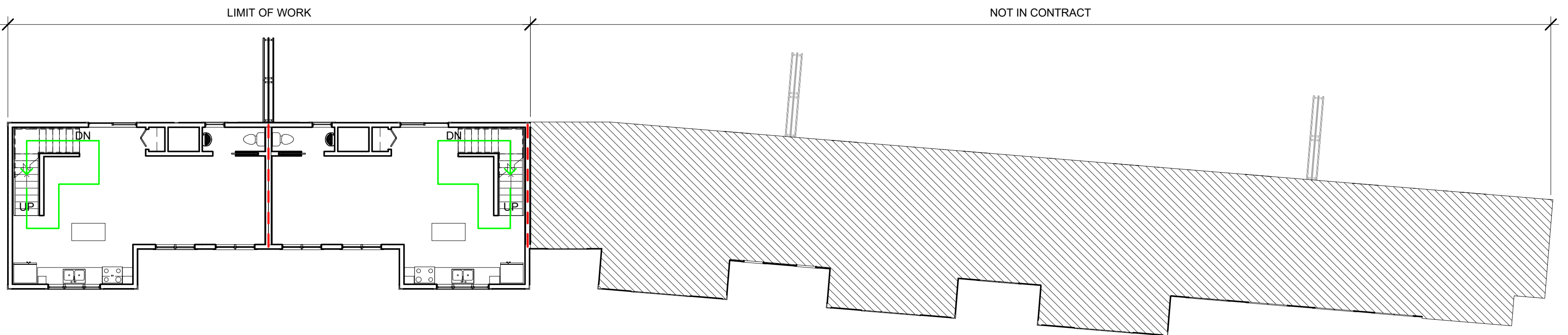
Mystic Ave Residences



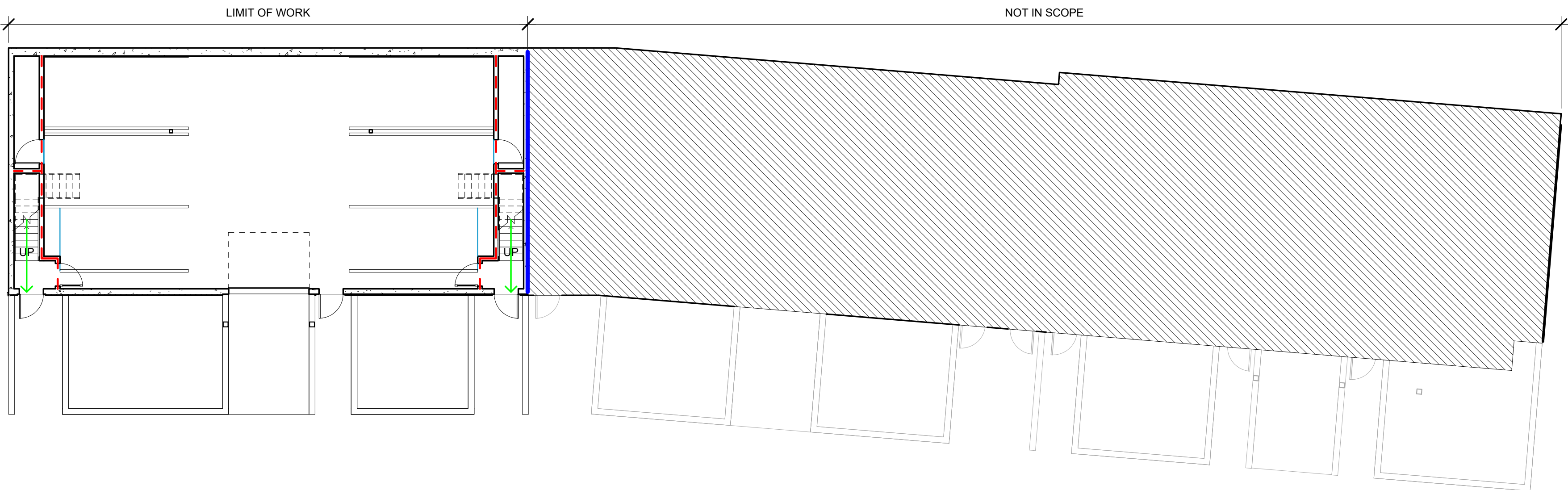
④ 3rd Floor
3/32" = 1'-0"



③ 2nd Floor
3/32" = 1'-0"



② 1st Floor
3/32" = 1'-0"



① Garage
3/32" = 1'-0"

FIRE PROTECTION LEGEND

- 2HR FIRE RATED WALL/ PARTITION
- 1HR FIRE RATED WALL/ PARTITION
- EXIT PATH
- EXIT

BUILDING CODE REVIEW MASSACHUSETTS STATE BUILDING CODE-8TH EDITION

TABLE 503:

NO	FLOOR	USE GROUP	TYPE OF CONSTRUCTION	ALLOWED		SPRINKLER INCREASE (504.2)		FRONTAGE INCREASE (506.3)		TOTAL ALLOWED		PROVIDED		REMARKS
				AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT		STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT	
0	GARAGE	"U" PRIVATE GARAGE	"VB" COMBUSTIBLE UNPROTECTED	5,500	1/40'	11,000	1/20'	-	-	16,500	2/60'	1,723	-/10'-9"	SEE NOTES BELOW FOR INCREASE INFORMATION
0	GARAGE	"R2" RESIDENTIAL MULTIFAMILY	"VB" COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	266	-/10'-9"	SEE NOTES BELOW FOR INCREASE INFORMATION
1	FIRST	"R2" RESIDENTIAL MULTIFAMILY	"VB" COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,177	1/9'-6"	SEE NOTES BELOW FOR INCREASE INFORMATION
2	SECOND	"R2" RESIDENTIAL MULTIFAMILY	"VB" COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,016	1/10'	SEE NOTES BELOW FOR INCREASE INFORMATION
3	THIRD	"R2" RESIDENTIAL MULTIFAMILY	"VB" COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	876	1/10'	SEE NOTES BELOW FOR INCREASE INFORMATION
TOTAL BUILDING AREA AND STORIES										84,000	3/60'	5,058	3/40'-3"	

1. ALLOWABLE AREA DUE TO AUTOMATIC FIRE SUPPRESSION SYSTEM = 100%
2. ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLES SYSTEM - 1 STORY
3. ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE- SECTION - 506.2 - (NOT USED)

FIRE RESISTANCE OF STRUCTURAL ELEMENTS (HOURS):

TABLE 601:

BUILDING ELEMENT	TYPE OF CONSTRUCTION	FIRE RATING FILE #
	TYPE VB UNPROTECTED/ COMBUSTIBLE	
PRIMARY STRUCTURAL FRAME g (see Section 202)	0	
BEARING WALLS EXTERIOR f,g INTERIOR	0 0	
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602	
NONBEARING WALLS AND PARTITIONS INTERIOR e	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	
ROOF CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	

- a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
b. Except in Group F-1, H, M and S-1 occupancies, the protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.

EGRESS CALCULATIONS:

TABLE 1004.1.1
RESIDENTIAL 1/200 GROSS SF
PARKING GARAGES 1/200 GROSS SF

#	FLOOR	USE GROUP	MERC-AREA/30 RES-AREA/200	OCCUPANT/ FLOOR
0	GARAGE/UTILITY (U)		1,723/200	9
0	GARAGE/RESIDENTIAL (R2)		266/200	1
1	FIRST/ RESIDENTIAL (R2)		1,177/200	6
2	SECOND / RESIDENTIAL (R2)		1,016/200	5
3	THIRD / RESIDENTIAL (R2)		876/200	4
TOTAL # 0 TO 3				25

PROJECT NAME

**Mystic Ave
Residences**

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

CLIENT

**Sun Property Group,
Inc.**

ARCHITECT



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Date 04-18-2018
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Scale As indicated

REVISIONS

No.	Description	Date

Code Review

A-010

Mystic Ave Residences



THE PROPOSED PROJECT USES APPROXIMATELY 9,458 SQUARE FEET OF THE 9,745 SQUARE FEET THAT MAKE UP THE CURRENT EXISTING LOT. THE PROJECT DOES NOT USE APPROXIMATELY 287 SQUARE FEET OF THE EXISTING LOT AREA WHICH INCLUDES:

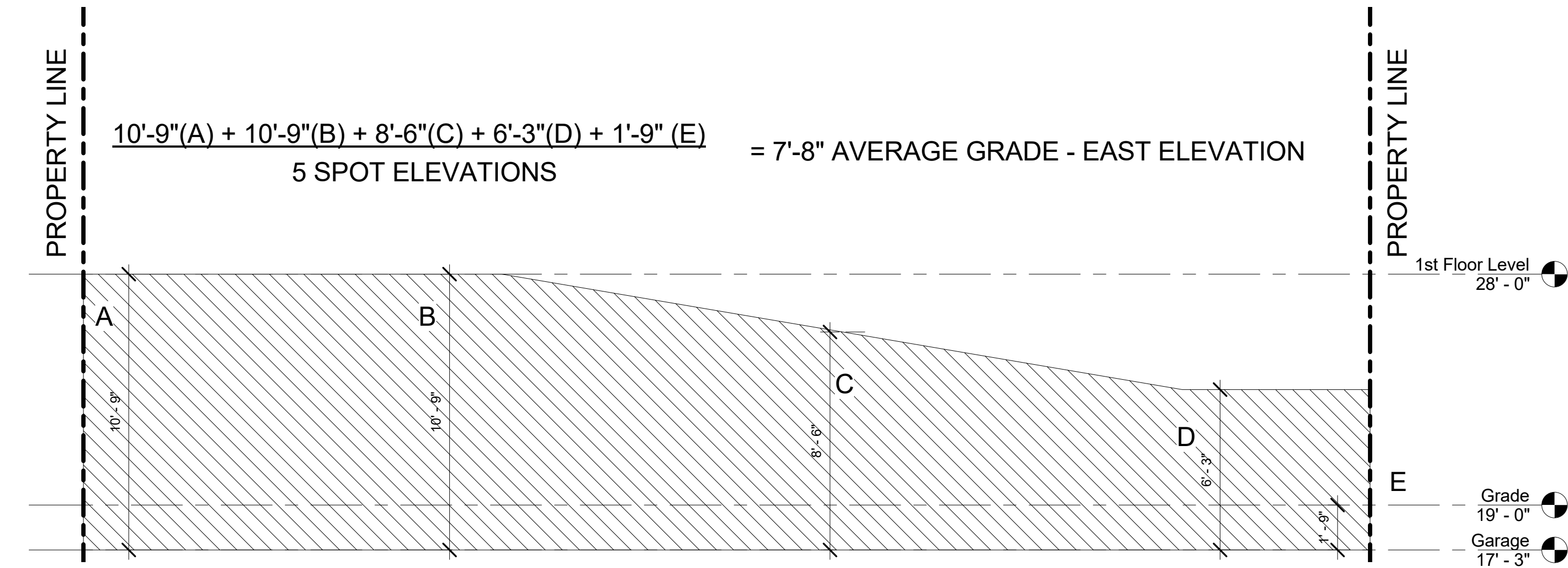
- i) LAND APPARENTLY CLAIMED BY THE 48-60 ASH AVENUE CONDOMINIUM ASSOCIATION BY ADVERSE POSSESSION, AND
- ii) CERTAIN LAND BEYOND THE RETAINING WALL ABUTTING 113 MORELAND STREET.

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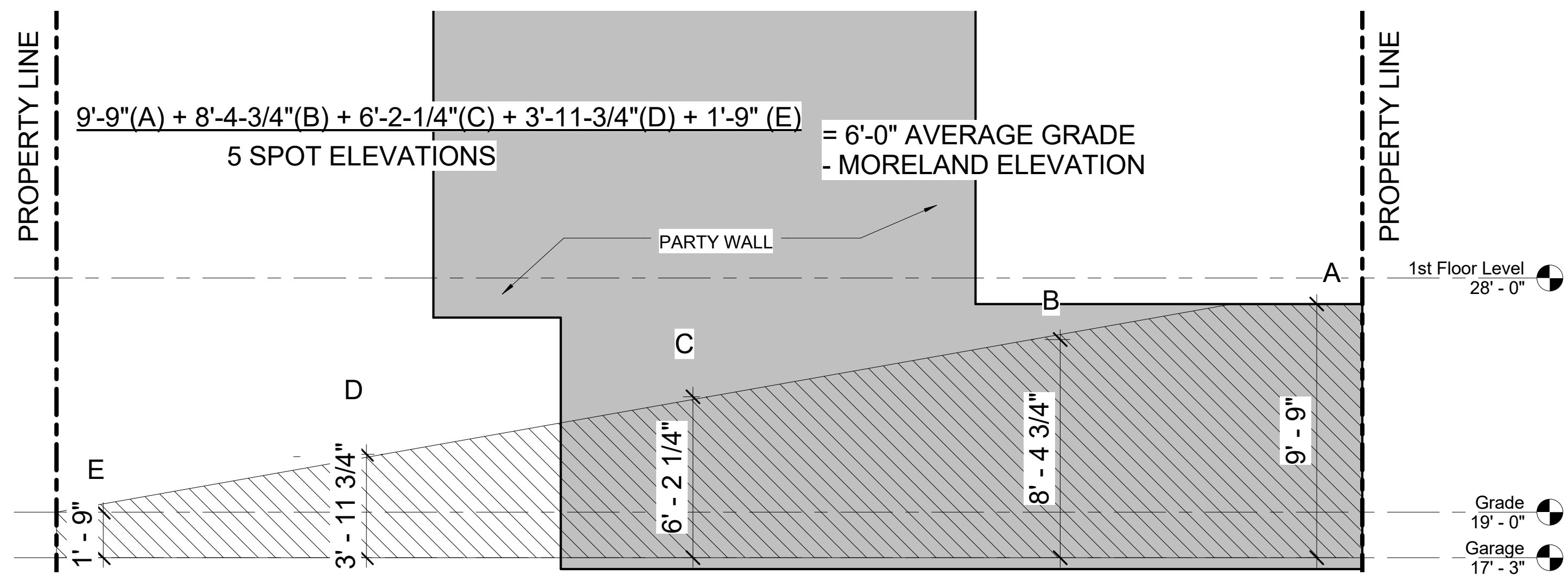
Architectural Site
Plan

A-020

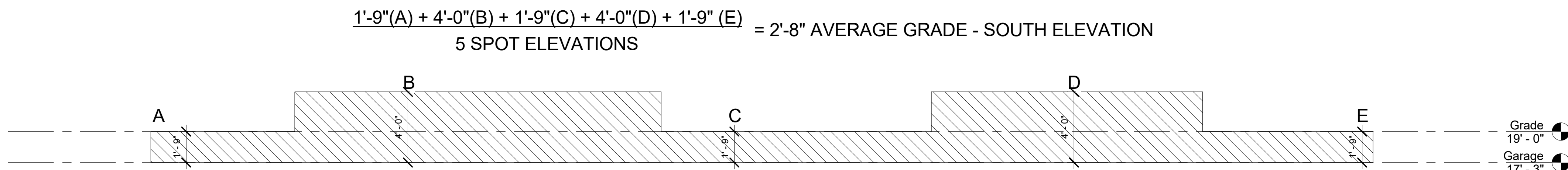
Mystic Ave Residences



① East Elevation Grade
1/4" = 1'-0"



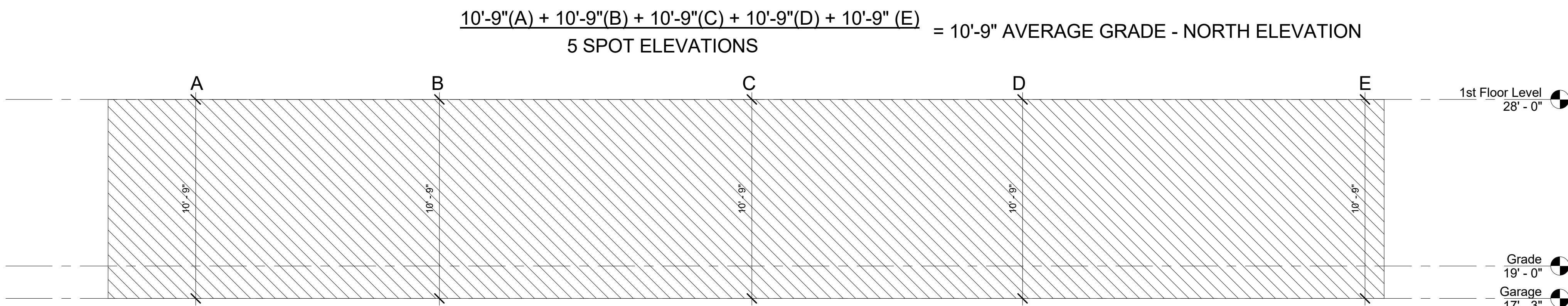
② Moreland Street Grade
1/4" = 1'-0"



③ South Elevation Grade
1/4" = 1'-0"

MORELAND STREET ELEV (6'-0") + EAST ELEV (7'-8") + NORTH ELEV (10'-9") + SOUTH ELEV (2'-8")
4 ELEVATIONS

= 6'-10" AVERAGE GRADE AROUND GARAGE



④ North Grade Elevation
1/4" = 1'-0"

PROJECT NAME

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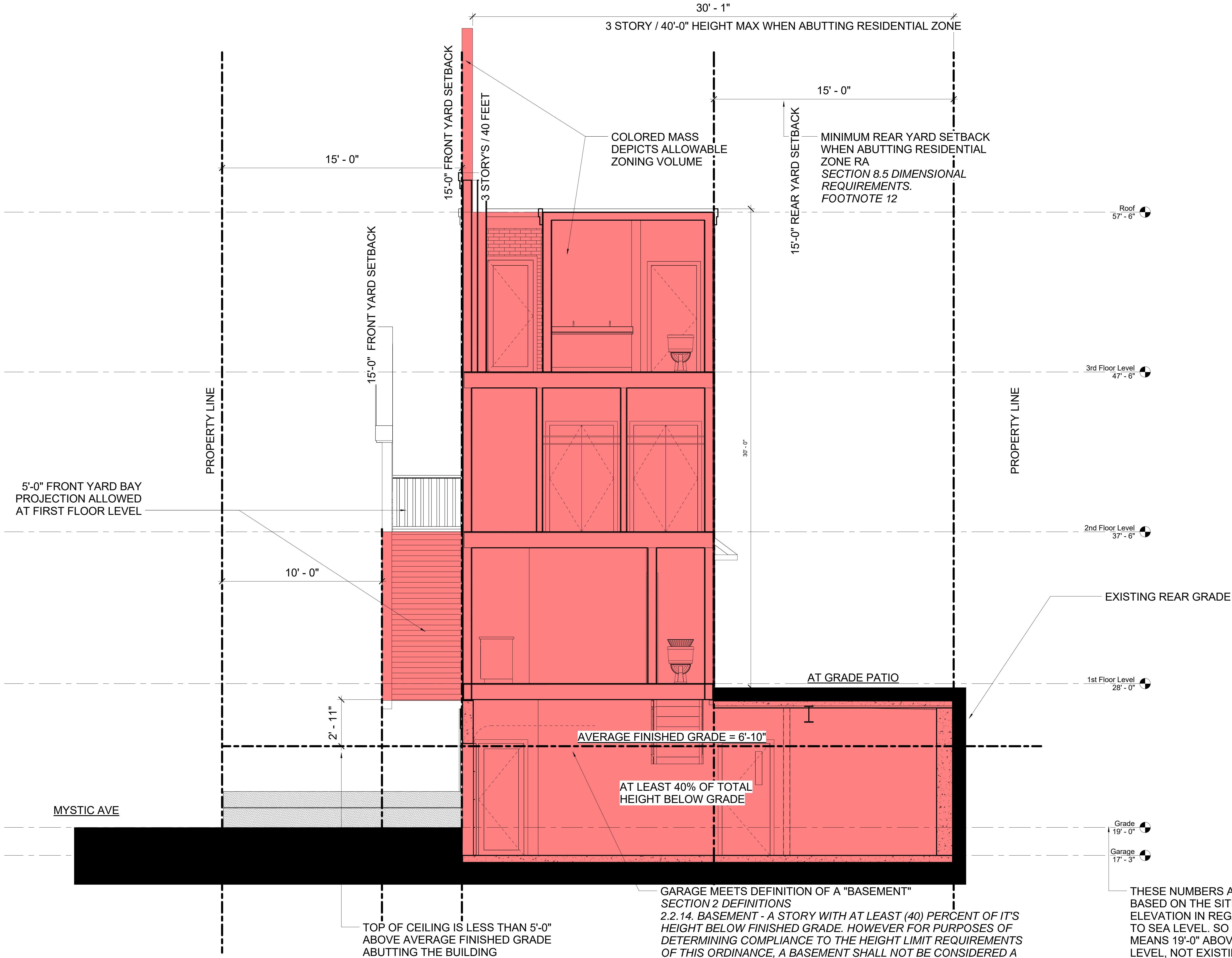
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No.	Description	Date

Zoning Grade
Elevations

A-021

Mystic Ave Residences



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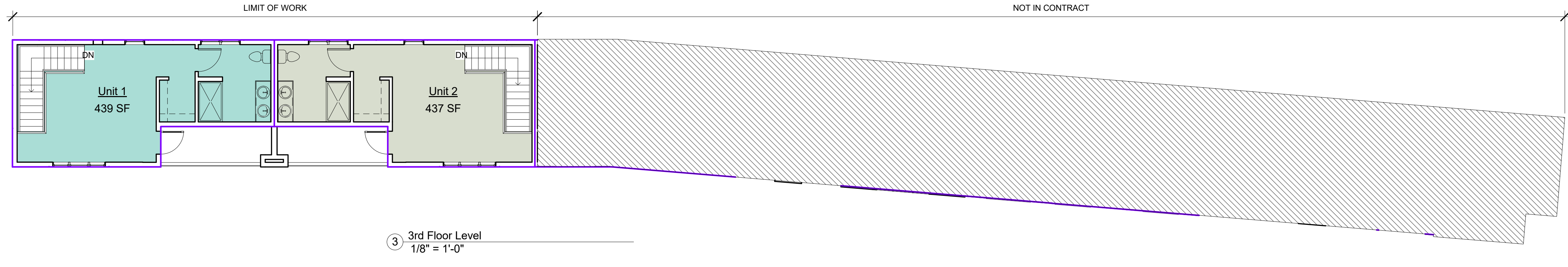
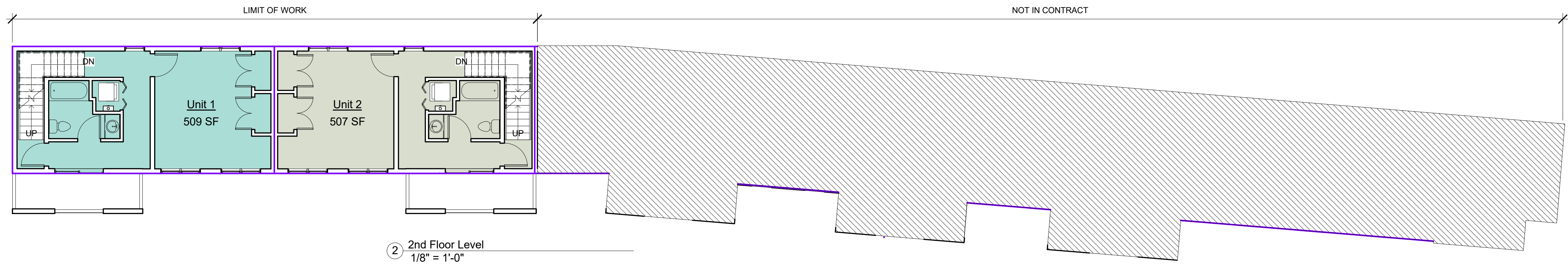
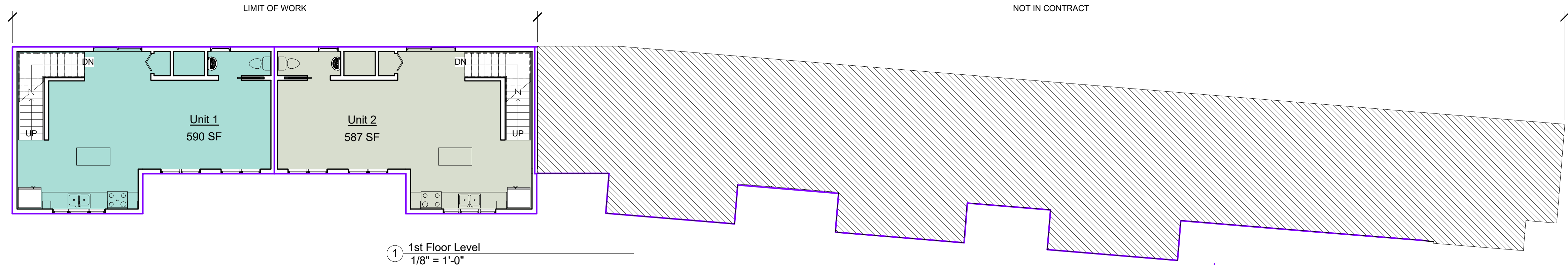
REVISIONS

No.	Description	Date

Zoning Section

A-022

Mystic Ave Residences



Area Schedule (Rentable)			
Name	Area	Level	Comments
Unit 1	590 SF	1st Floor Level	
Unit 1	509 SF	2nd Floor Level	
Unit 1	439 SF	3rd Floor Level	
1.2	1538 SF		
Unit 2	587 SF	1st Floor Level	
Unit 2	507 SF	2nd Floor Level	
Unit 2	437 SF	3rd Floor Level	
1.3	1531 SF		

Area Schedule (Rentable)			
Name	Area	Level	Comments

Area Schedule (Rentable)			
Name	Area	Level	Comments

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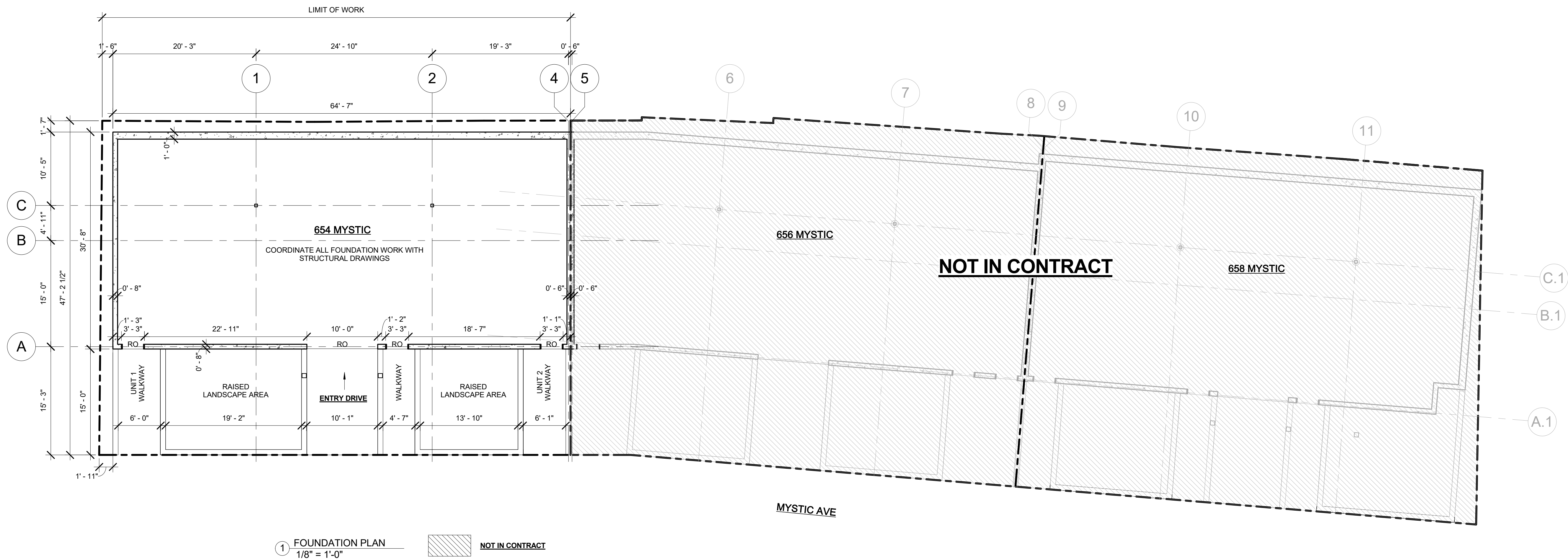
REVISIONS

No.	Description	Date

Area Plans

A-023

Mystic Ave Residences



PROJECT NAME
**Mystic Ave
Residences**

PROJECT ADDRESS
654 Mystic Ave.
Somerville, MA

CLIENT
**Sun Property Group,
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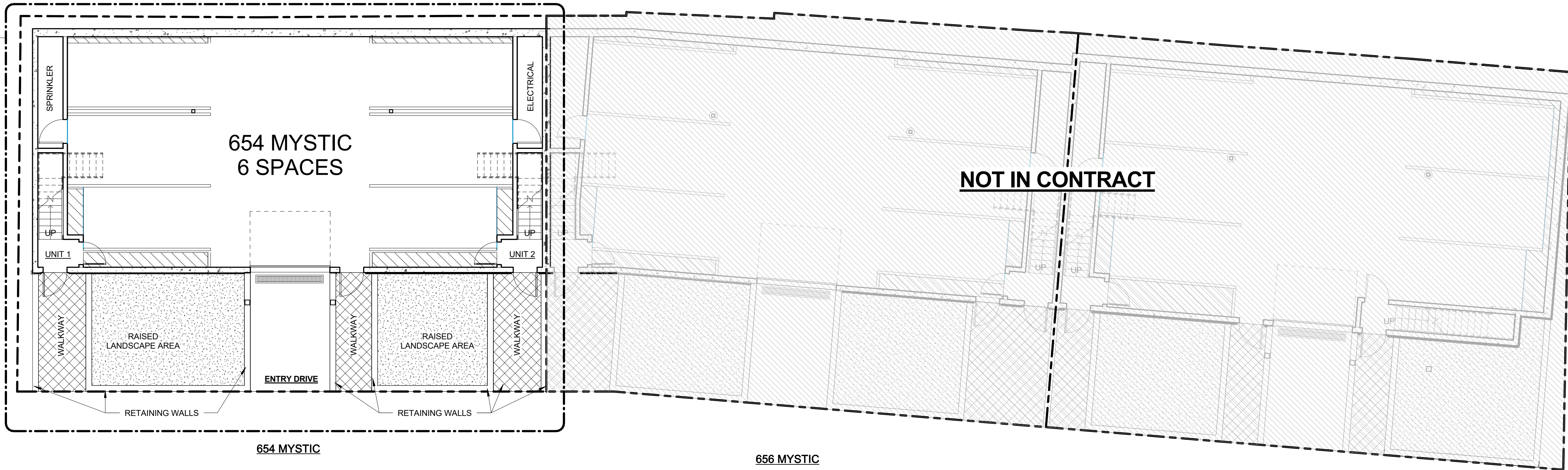
No.	Description	Date

Foundation Plan

A-100
Mystic Ave Residences

LIMIT OF WORK

2
A-101



654 MYSTIC

656 MYSTIC

658 MYSTIC

1 Garage Key Plan
1/8" = 1'-0"

2 Garage Plan
1/4" = 1'-0"

6 SPACES

LEGEND

- SD SMOKE DETECTOR
CO CARBON MONOXIDE DETECTOR
H HEAT RATE OF RISE DETECTOR
X WALL TYPE
E EXHAUST VENT
NOT IN CONTRACT

GENERAL NOTES

1. UNLESS OTHERWISE NOTED ALL INTERIOR WALLS SHALL BE TYPE "1". REFER TO SHEET A-900.
2. PROVIDE 1 HOUR FIRE RATED FLOOR/ CEILING ASSEMBLY BETWEEN DWELLING UNITS.
3. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
4. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED.
5. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
6. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
7. MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS
8. CONTRACTOR TO COORDINATE DESIGN-BUILD DRAWINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WITH SUBCONTRACTORS PRIOR TO CONSTRUCTION.
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11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.

PROJECT NAME

**Mystic Ave
Residences**

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

CLIENT

**Sun Property Group,
Inc.**

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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Project number 15106
Date 04-18-2018
Drawn by WJC
Checked by JSK
Scale As indicated

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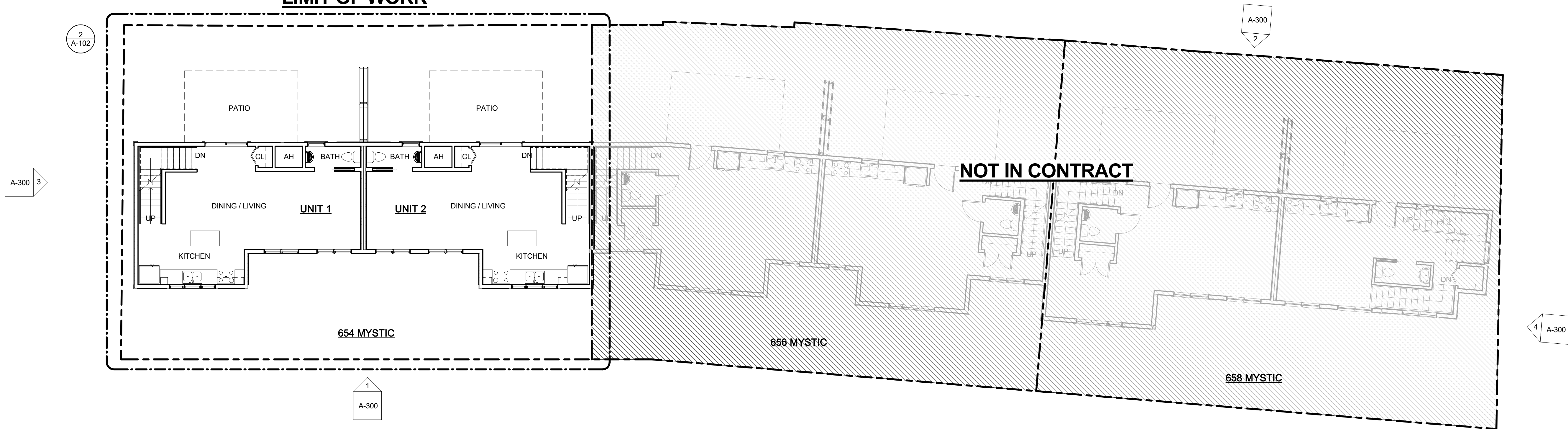
No.	Description	Date

Garage Plan

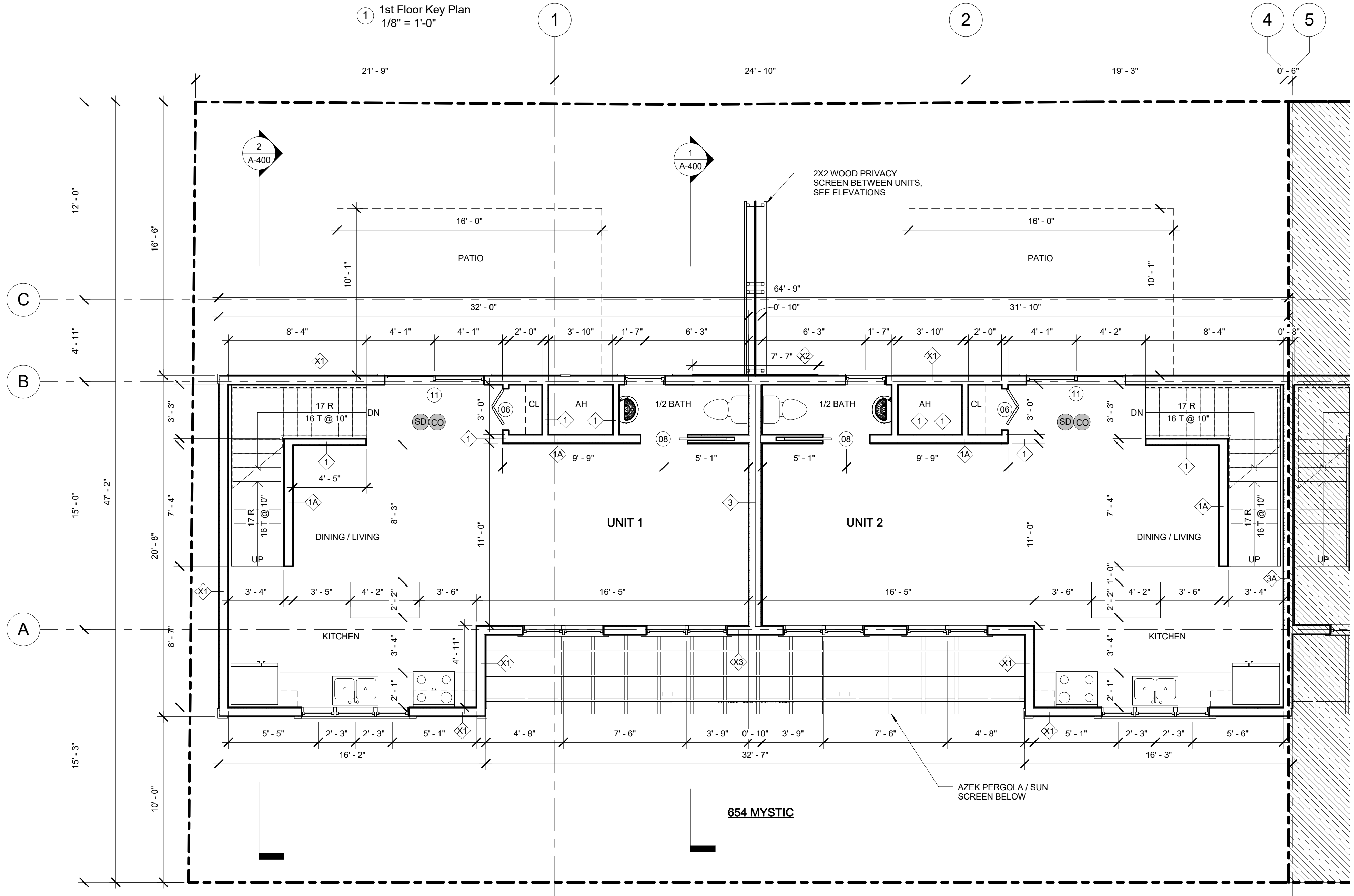
A-101

Mystic Ave Residences

LIMIT OF WORK



1 1st Floor Key Plan
1/8" = 1'-0"



2 1st Floor Plan
1/4" = 1'-0"

LEGEND

- SD SMOKE DETECTOR
CO CARBON MONOXIDE DETECTOR
H HEAT RATE OF RISE DETECTOR
X WALL TYPE
E EXHAUST VENT

GENERAL NOTES

1. UNLESS OTHERWISE NOTED ALL INTERIOR WALLS SHALL BE TYPE "1". REFER TO SHEET A-300.
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PROJECT NAME

**Mystic Ave
Residences**

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

CLIENT

**Sun Property Group,
Inc.**

ARCHITECT



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

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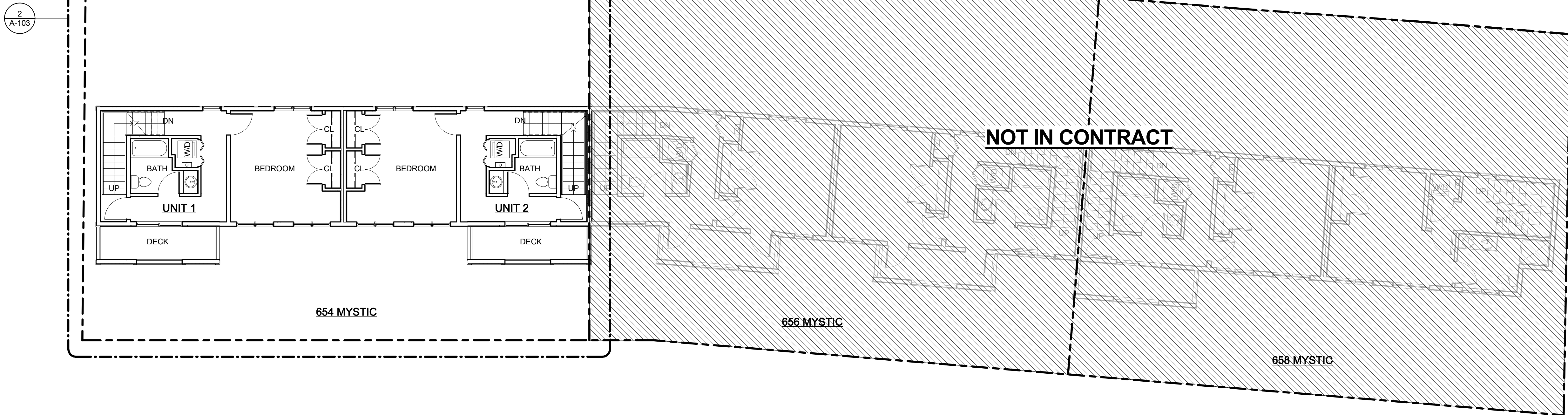
No.	Description	Date

1st Floor Plan

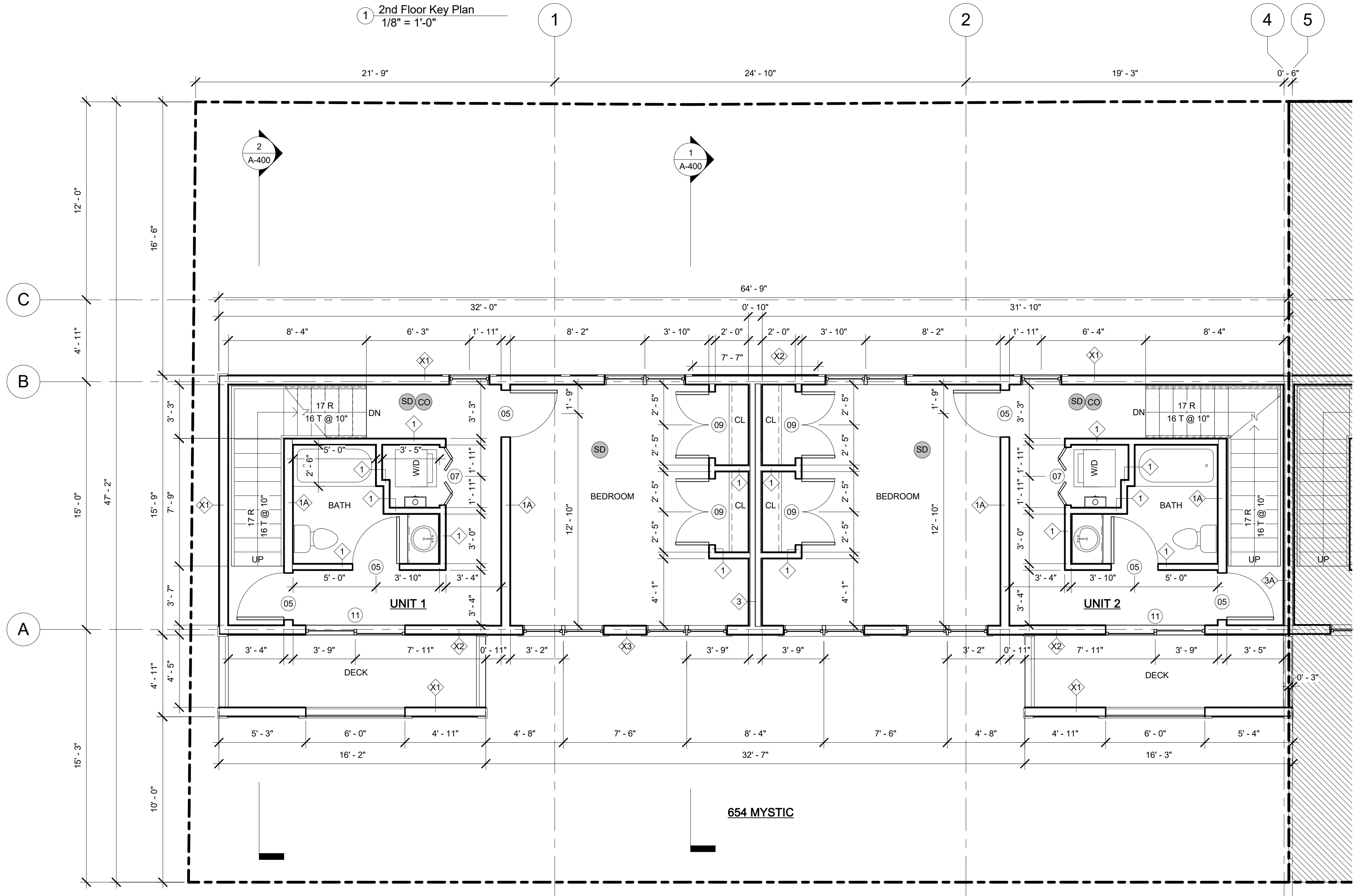
A-102

Mystic Ave Residences

LIMIT OF WORK



1 2nd Floor Key Plan
1/8" = 1'-0"



2 2nd Floor Plan
1/4" = 1'-0"

LEGEND

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- H HEAT RATE OF RISE DETECTOR
- WALL TYPE
- EXHAUST VENT
- NOT IN CONTRACT

GENERAL NOTES

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PROJECT NAME

Mystic Ave
Residences

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

CLIENT

Sun Property Group,
Inc.

ARCHITECT



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SOMERVILLE, MA 02143
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No.	Description	Date

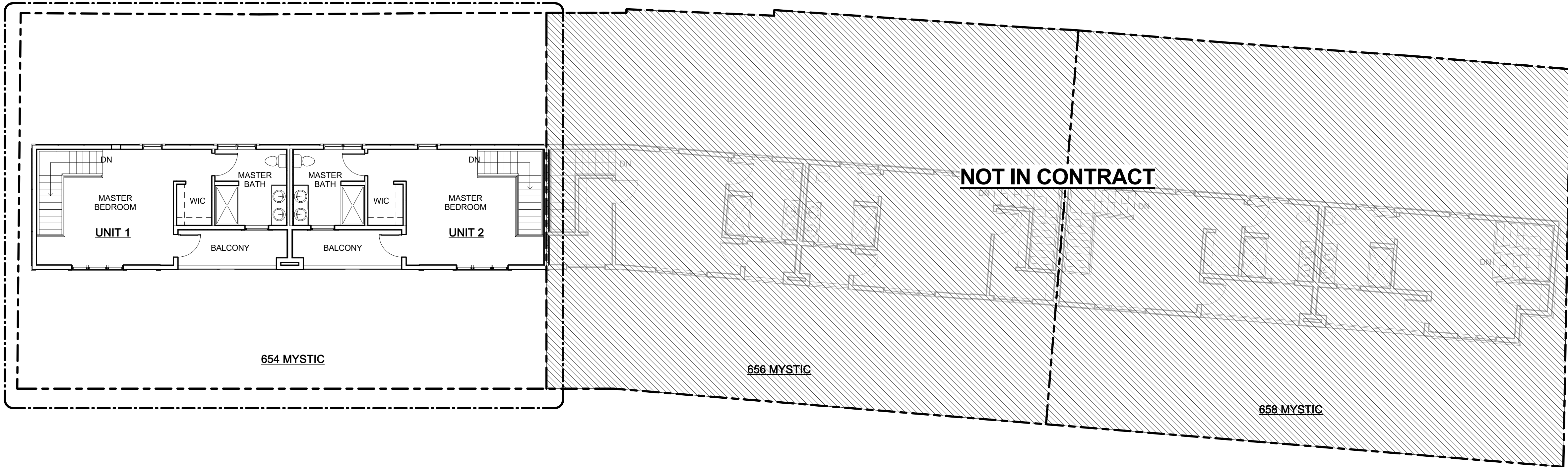
2nd Floor Plan

A-103

Mystic Ave Residences

LIMIT OF WORK

2
A-104



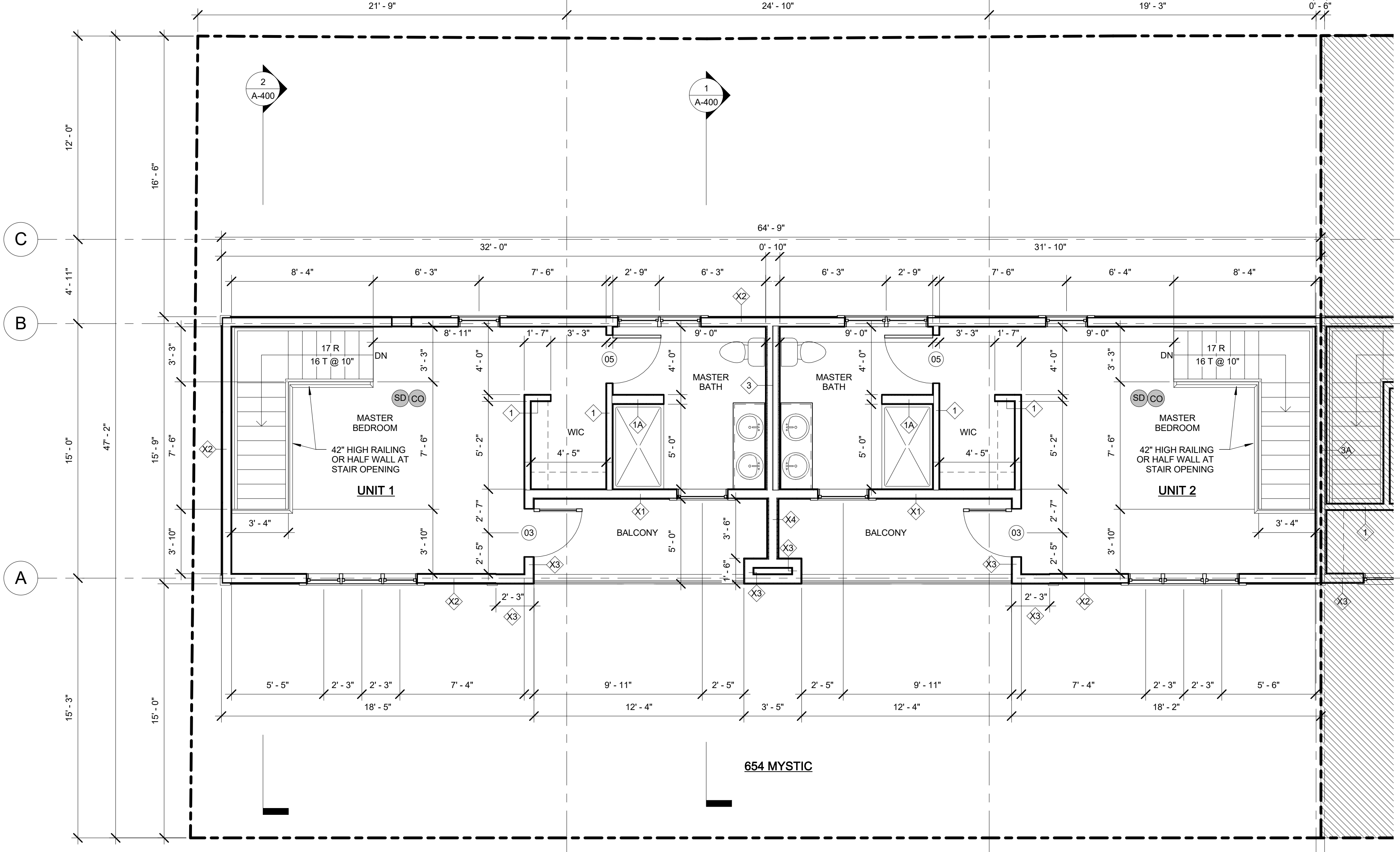
1 3rd Floor Plan
1/8" = 1'-0"

1

2

4

5



2 3rd Floor Plan
1/4" = 1'-0"

LEGEND

- SD SMOKE DETECTOR
CO CARBON MONOXIDE DETECTOR
H HEAT RATE OF RISE DETECTOR
X WALL TYPE
E EXHAUST VENT

NOT IN CONTRACT

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PROJECT NAME

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Residences

PROJECT ADDRESS

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Somerville, MA

CLIENT

Sun Property Group,
Inc.

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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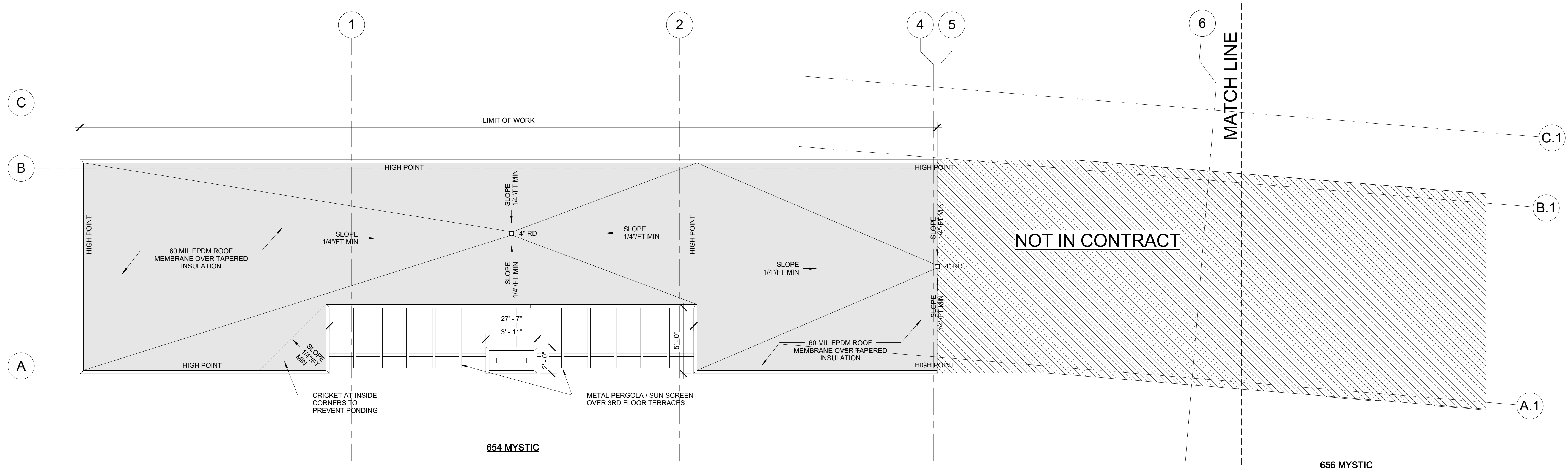
REVISIONS

No.	Description	Date

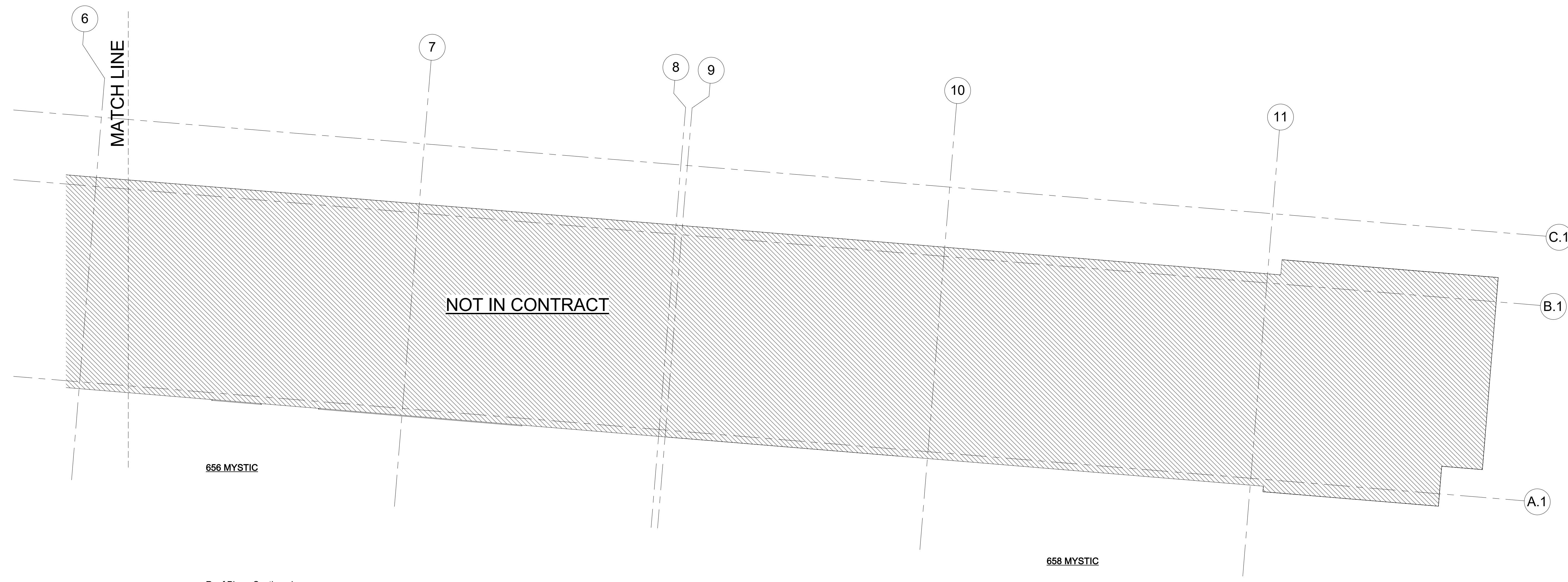
3rd Floor Plan

A-104

Mystic Ave Residences



1 Roof Plan
1/4" = 1'-0"



2 Roof Plan - Continued
1/4" = 1'-0"

PROJECT NAME
**Mystic Ave
Residences**

PROJECT ADDRESS
654 Mystic Ave.
Somerville, MA

CLIENT
**Sun Property Group,
Inc.**

ARCHITECT
**DESIGN
KHALSA**

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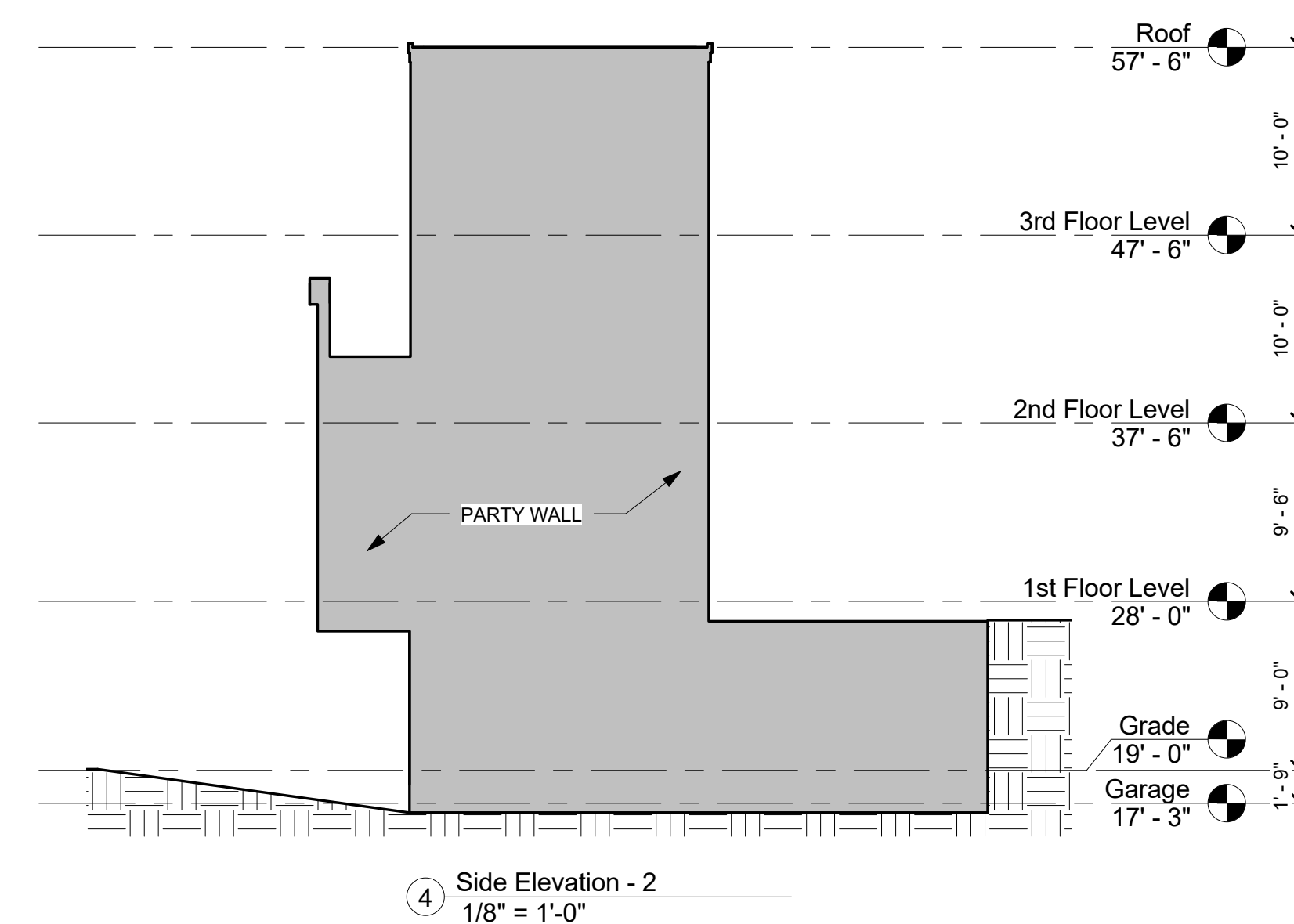
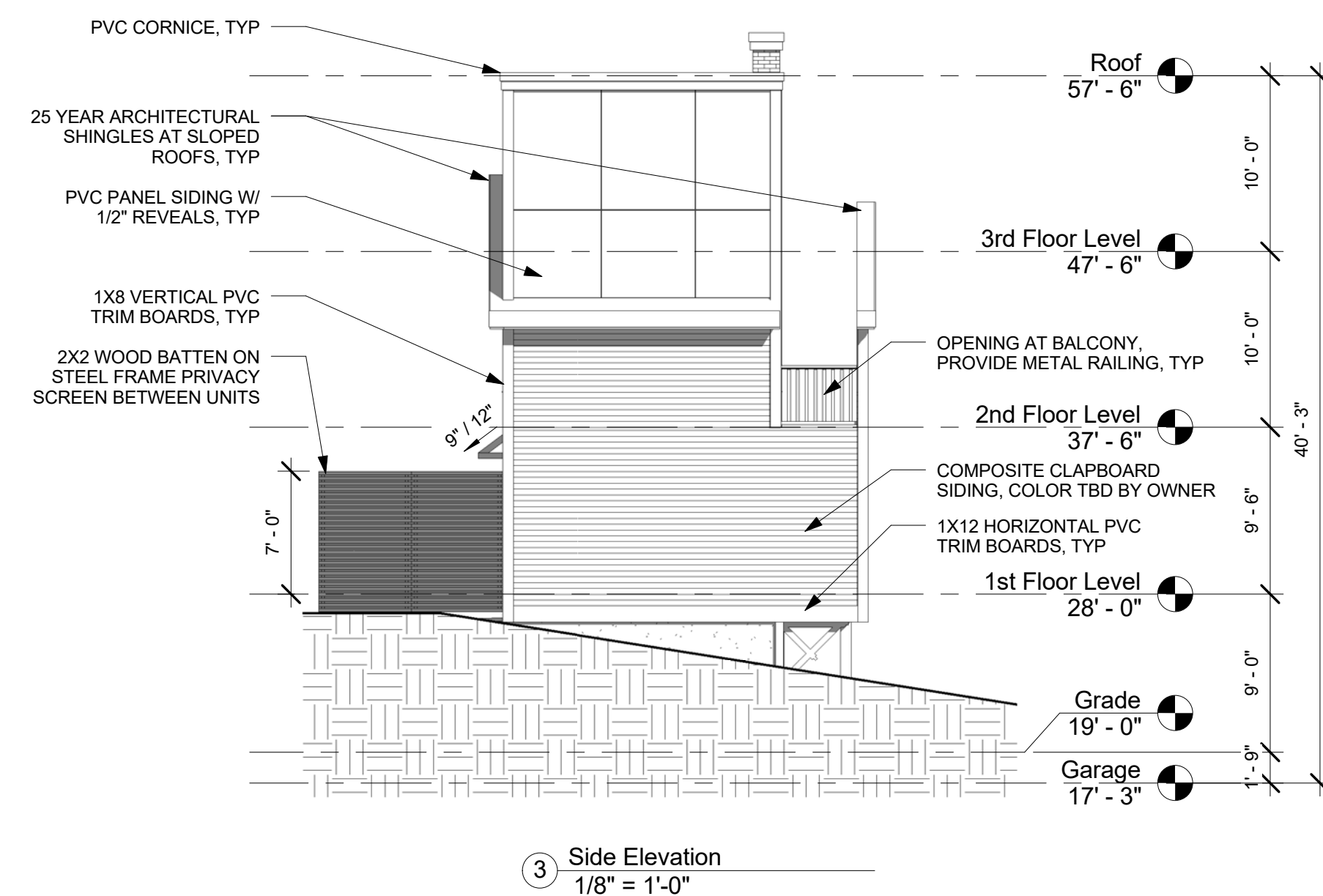
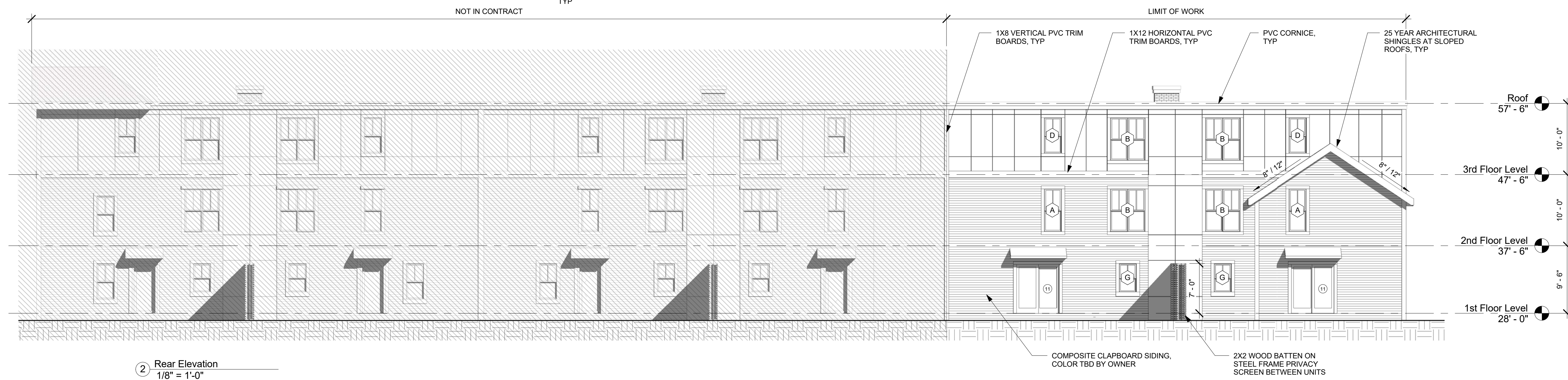
Project number 15106
Date 04-18-2018
Drawn by RC
Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Roof Plan

A-105

Mystic Ave Residences



PROJECT NAME

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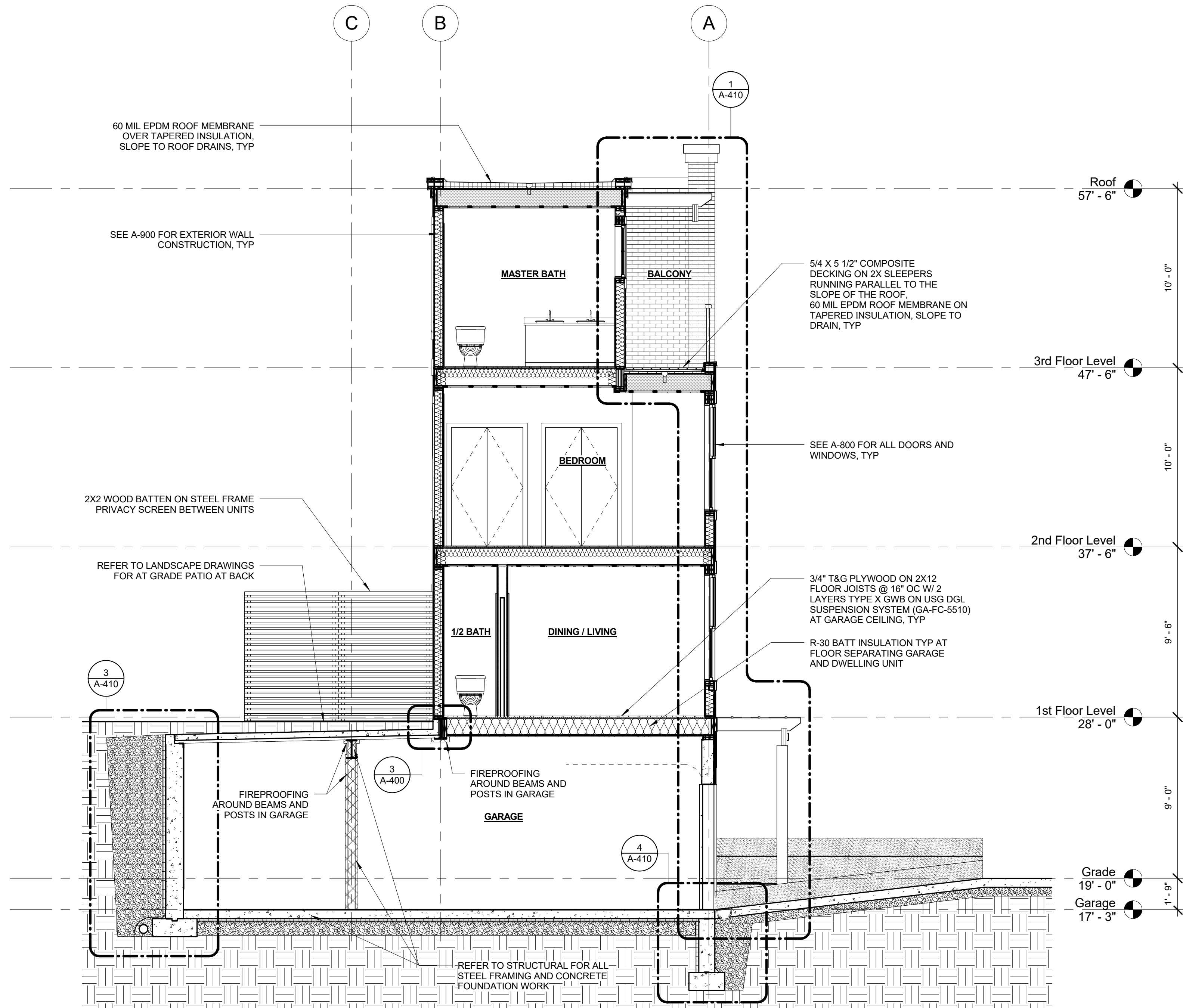
REVISIONS

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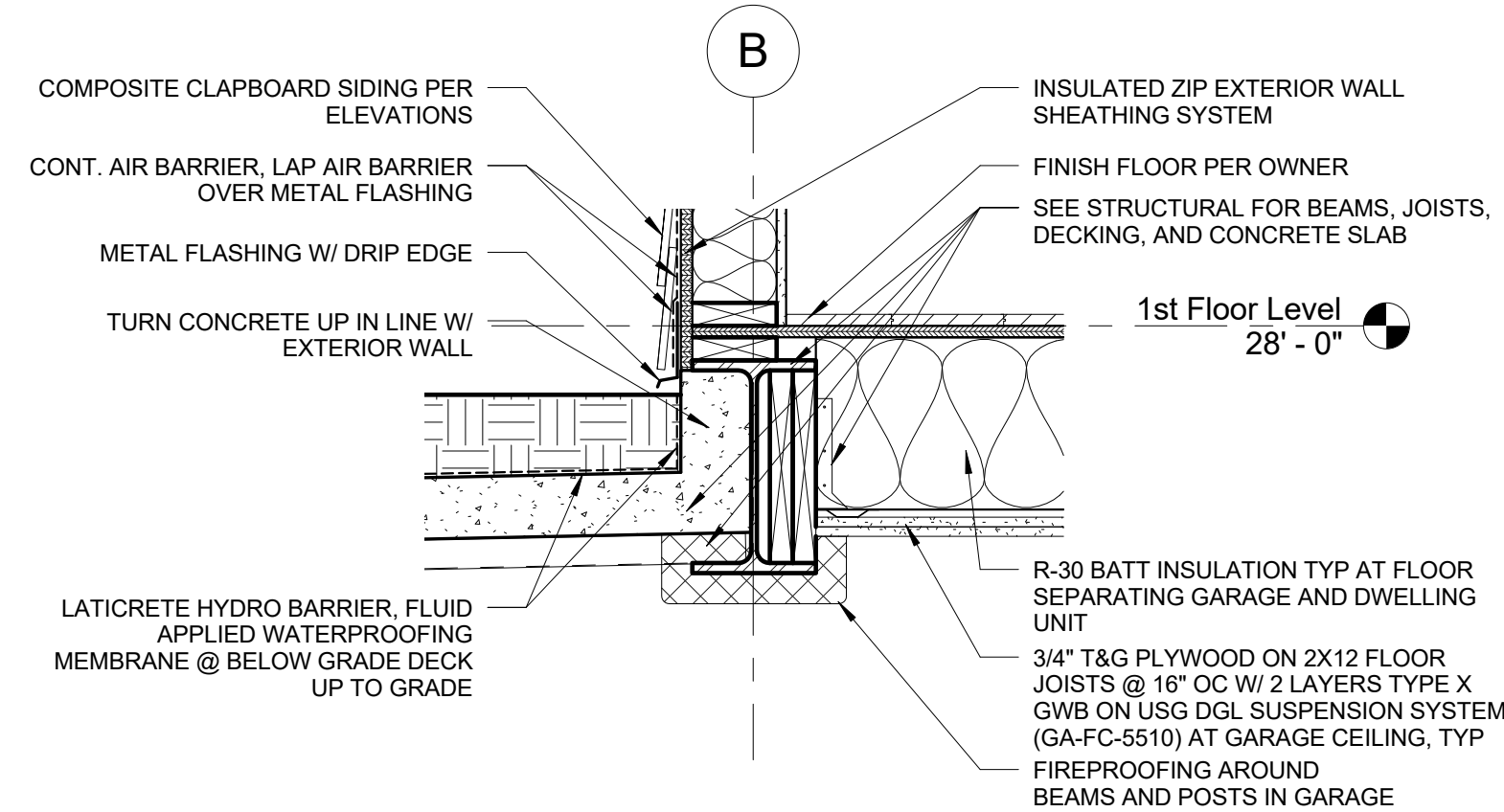
Exterior Elevations

A-300

Mystic Ave Residences



1 Section 654-1
1/4" = 1'-0"



2 Section 654-2
1/4" = 1'-0"

3 Garage Roof Detail @ Grade
1" = 1'-0"

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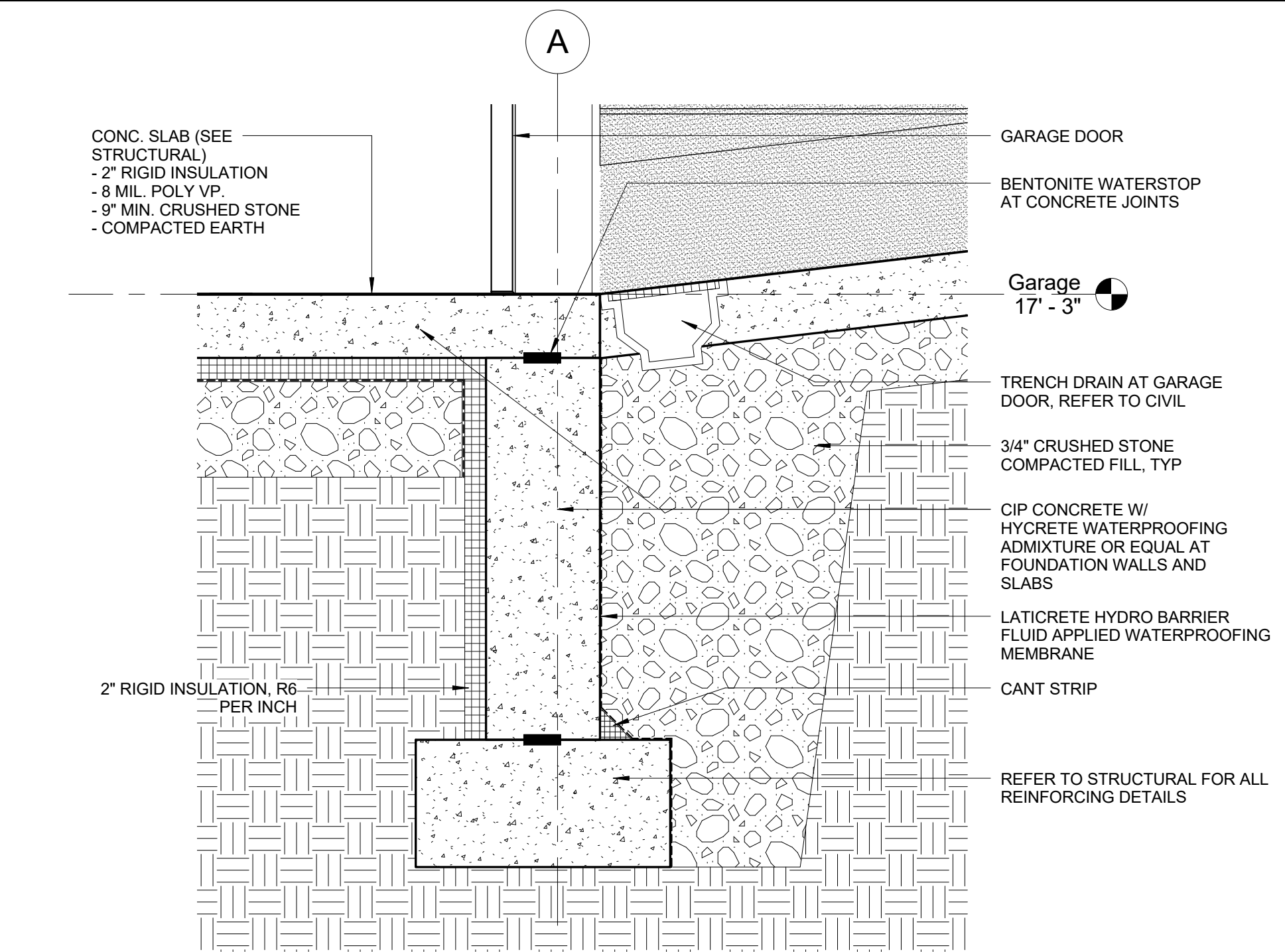
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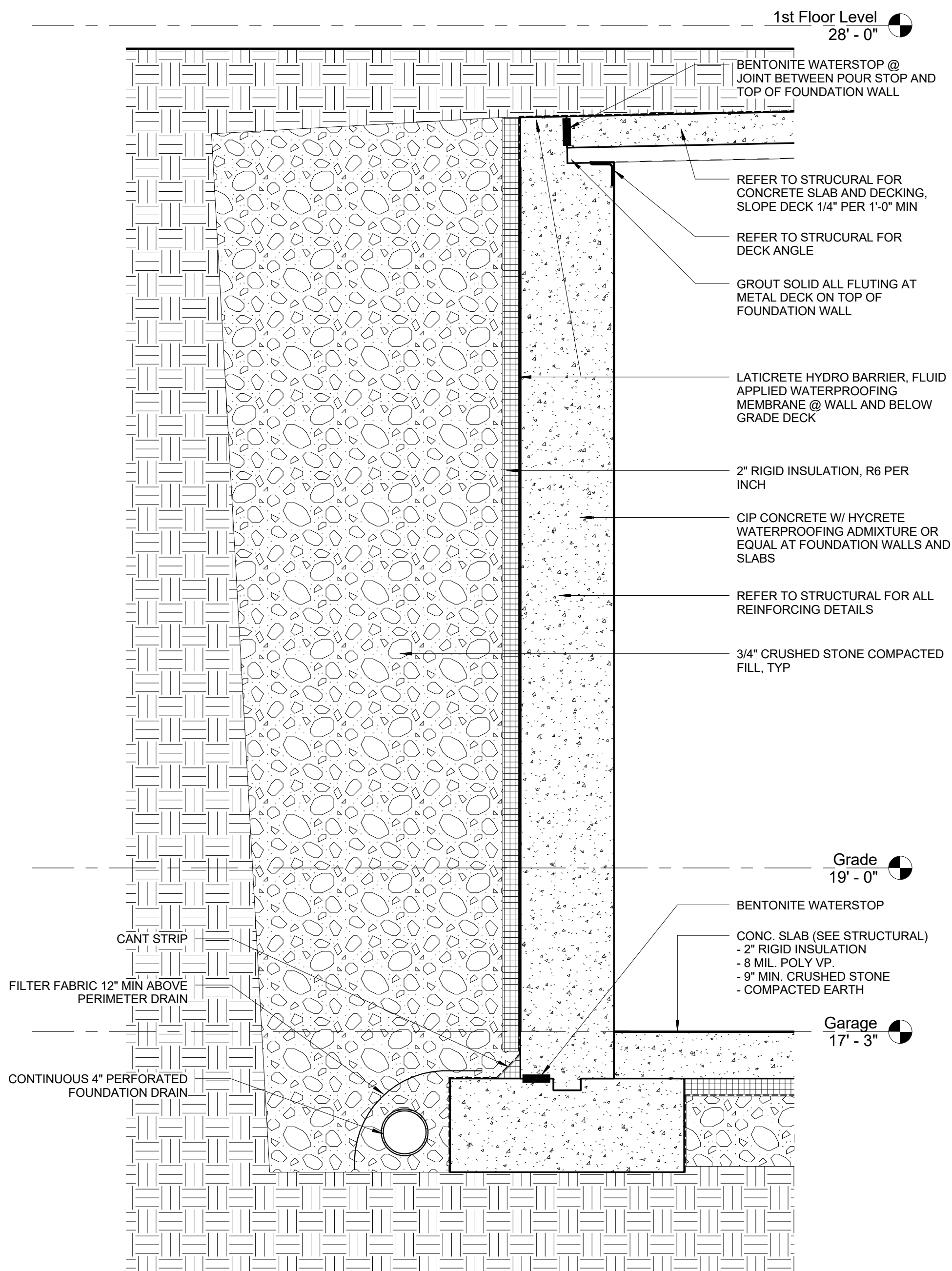
Cross Sections

A-400

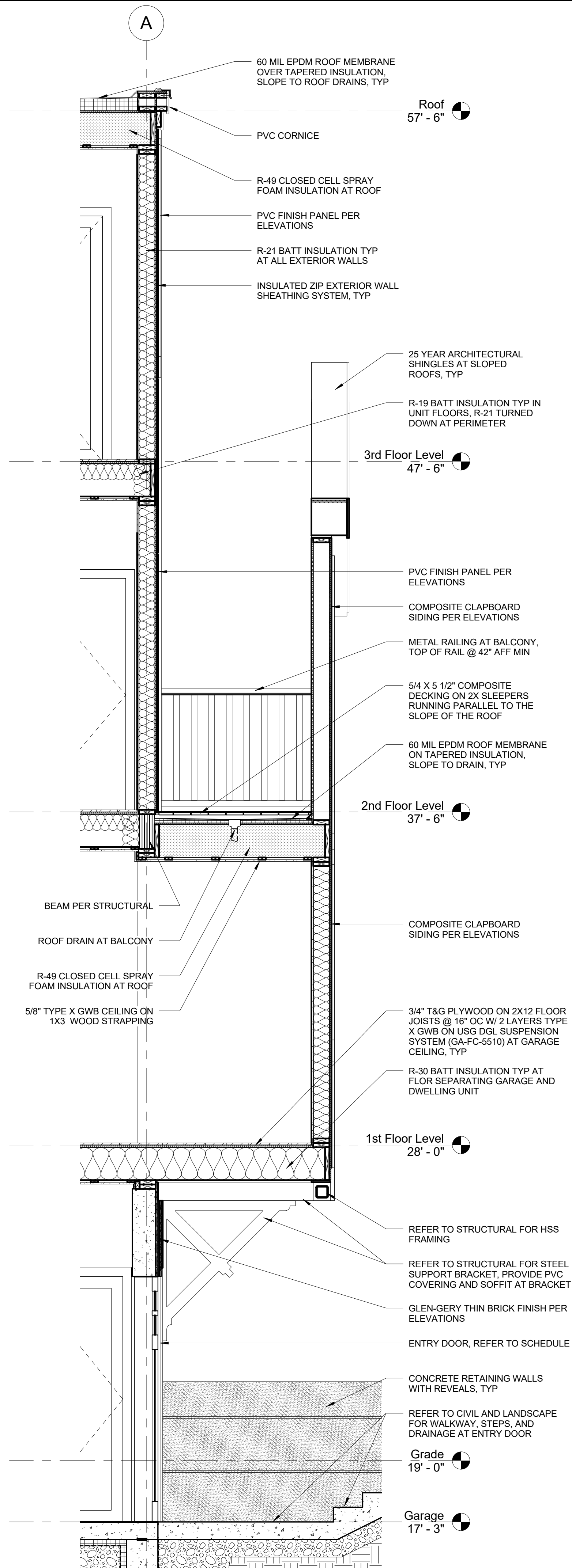
Mystic Ave Residences



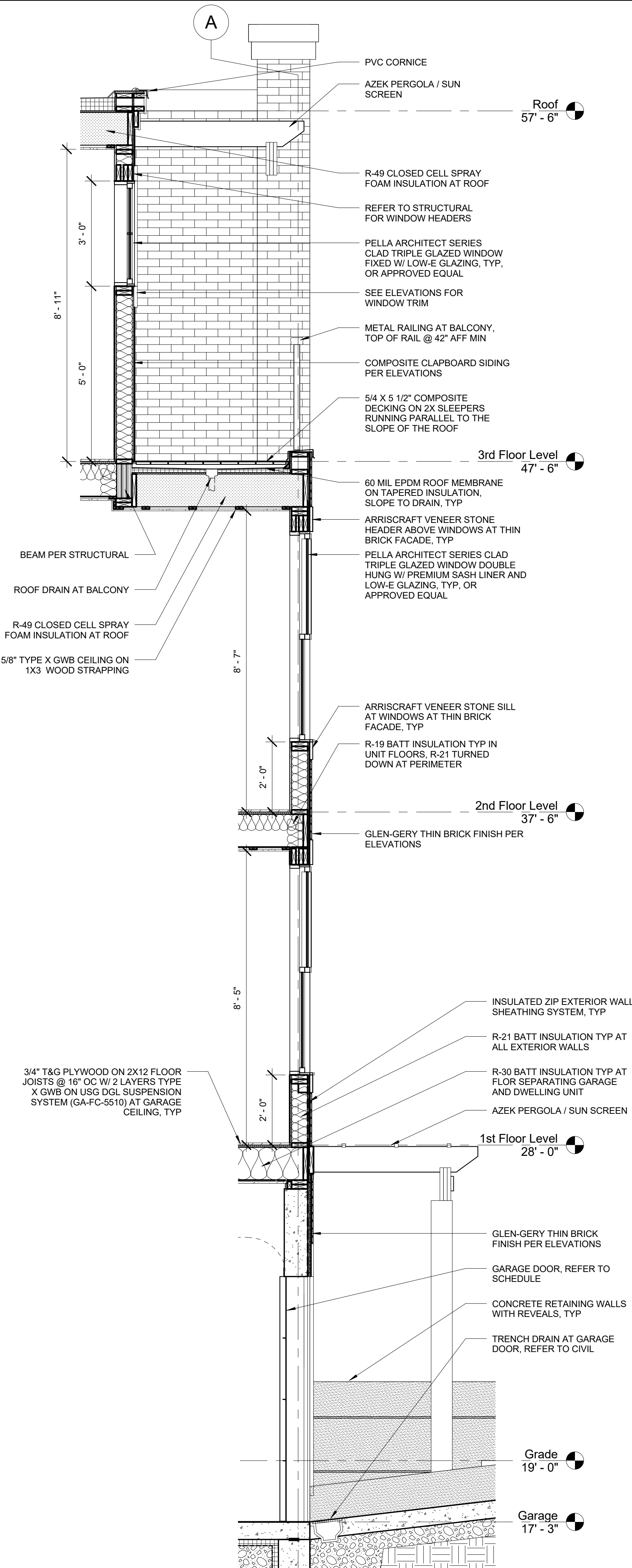
④ Foundation Detail at Garage Door
1" = 1'-0"



③ Foundation Detail
1" = 1'-0"



② Wall Section 2
1/2" = 1'-0"



① Wall Section 1
1/2" = 1'-0"

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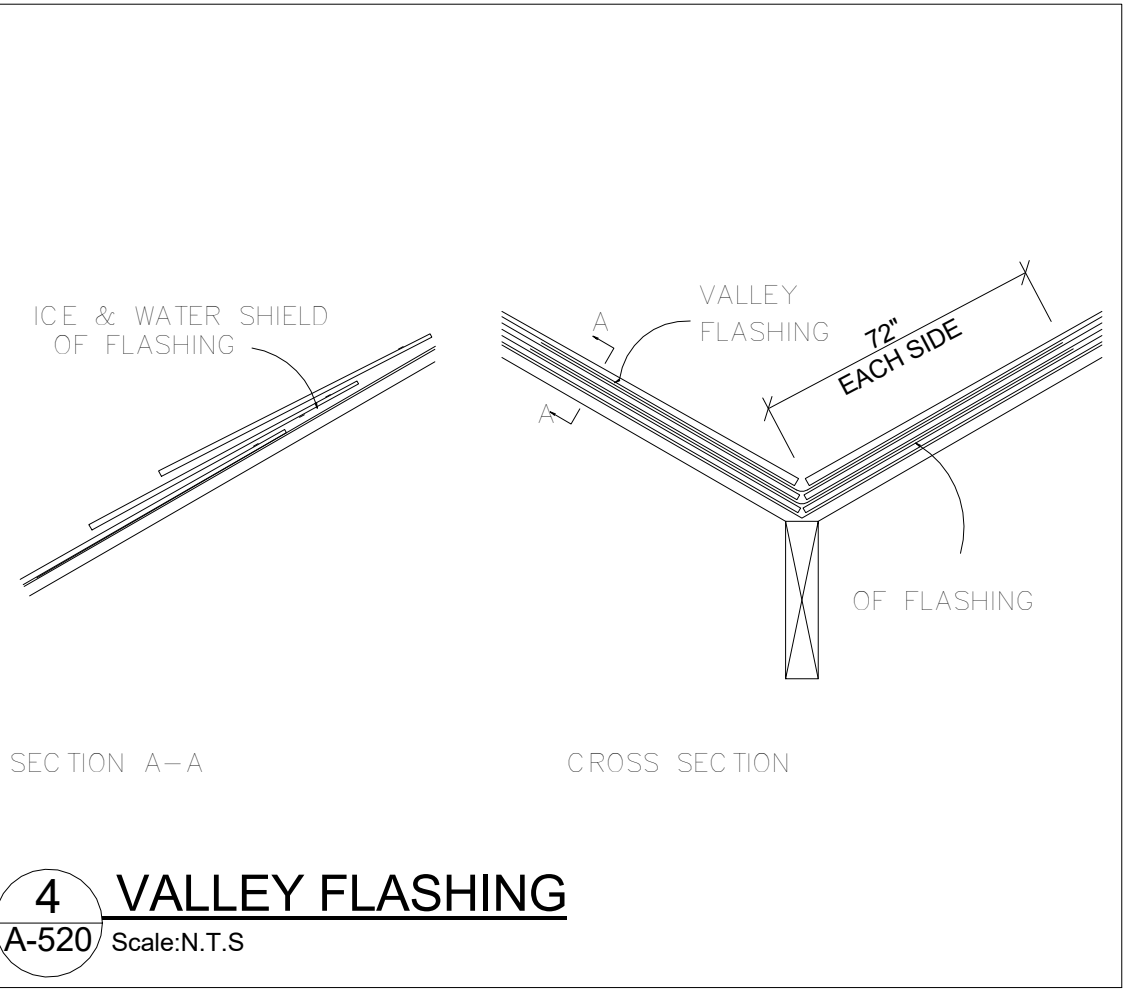
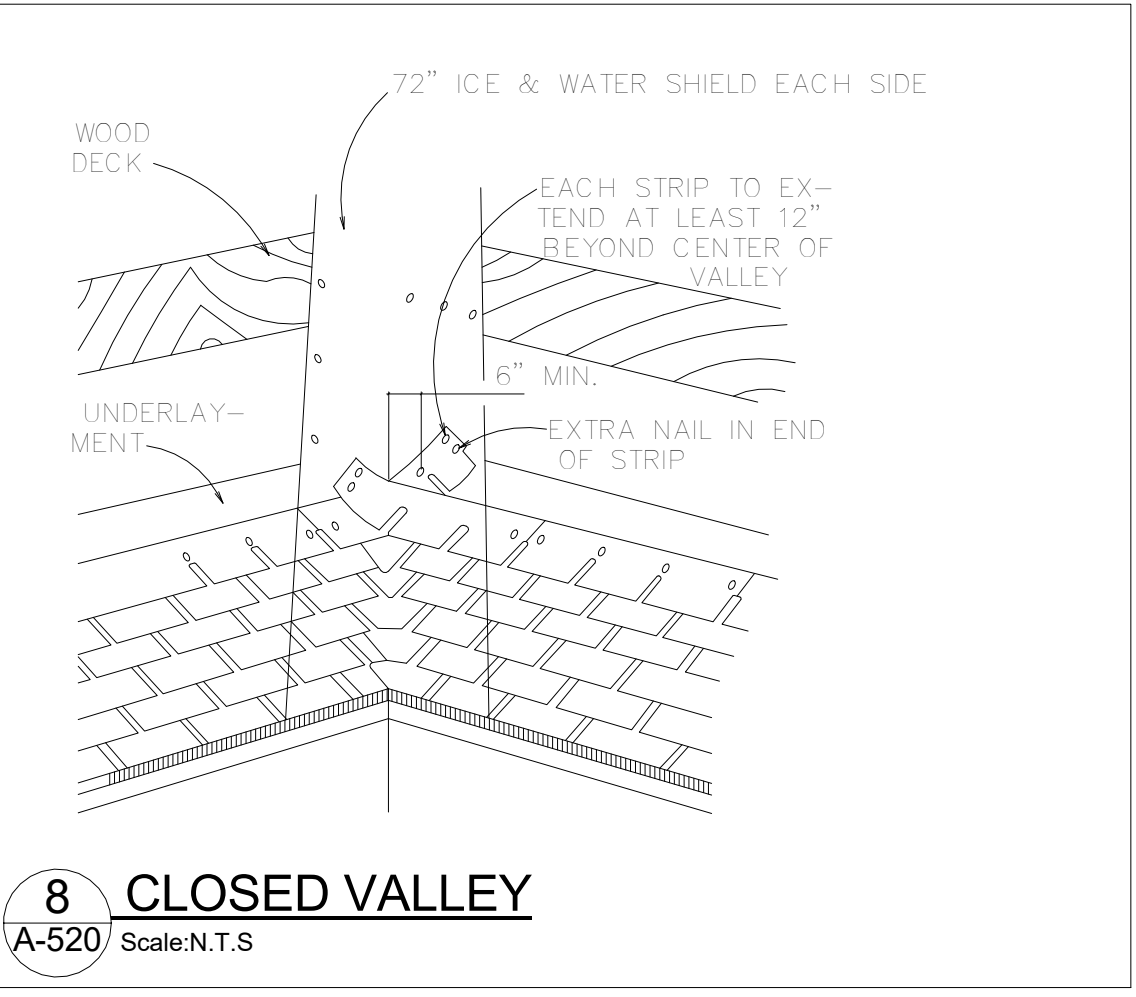
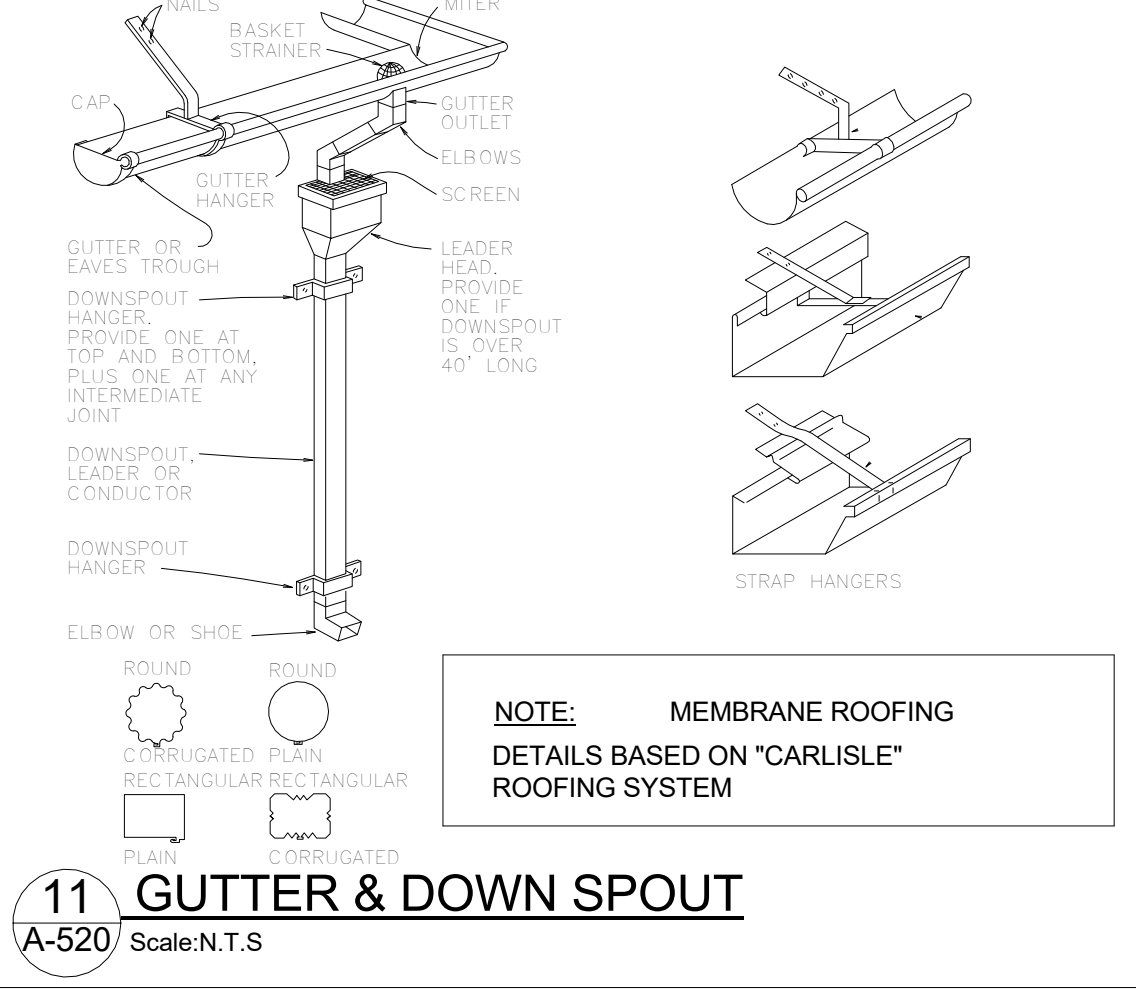
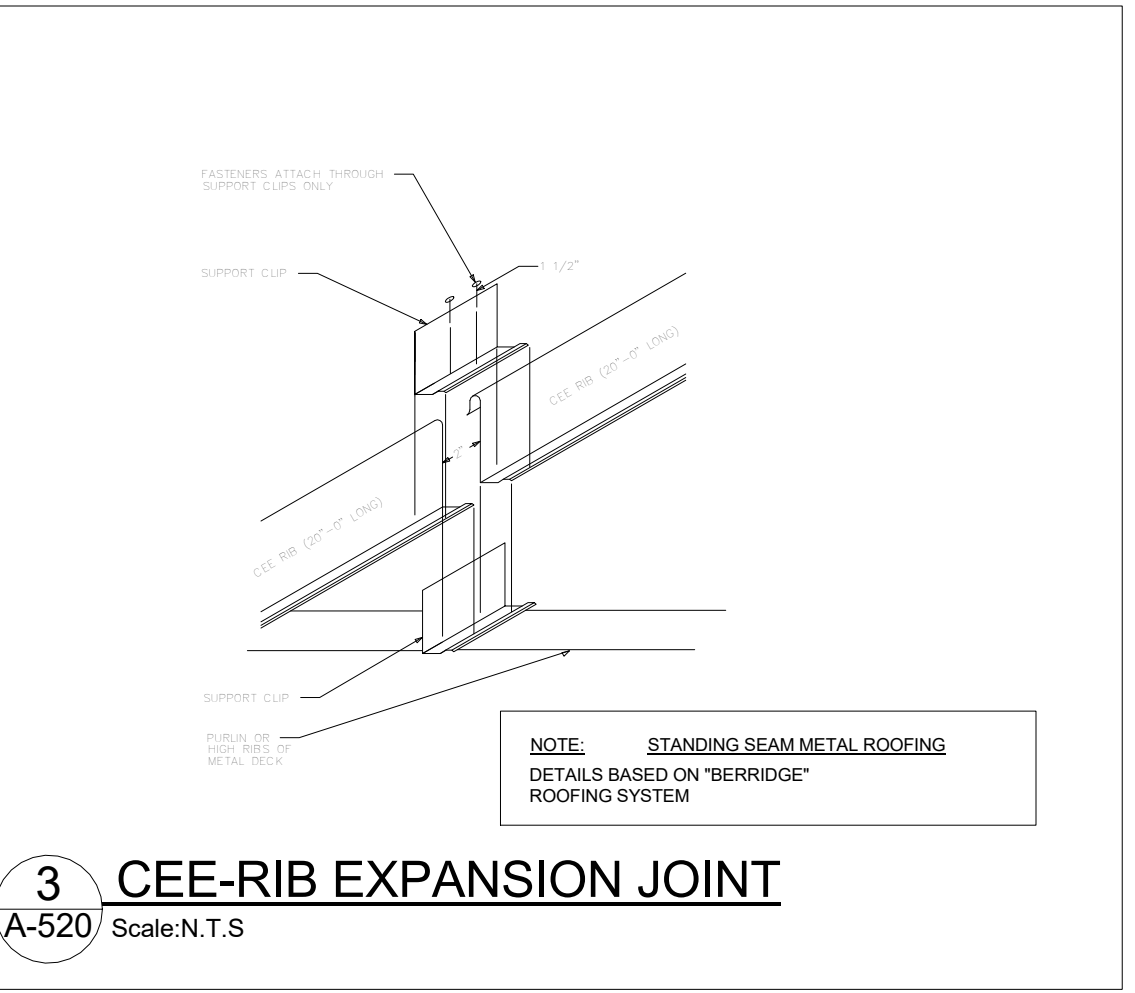
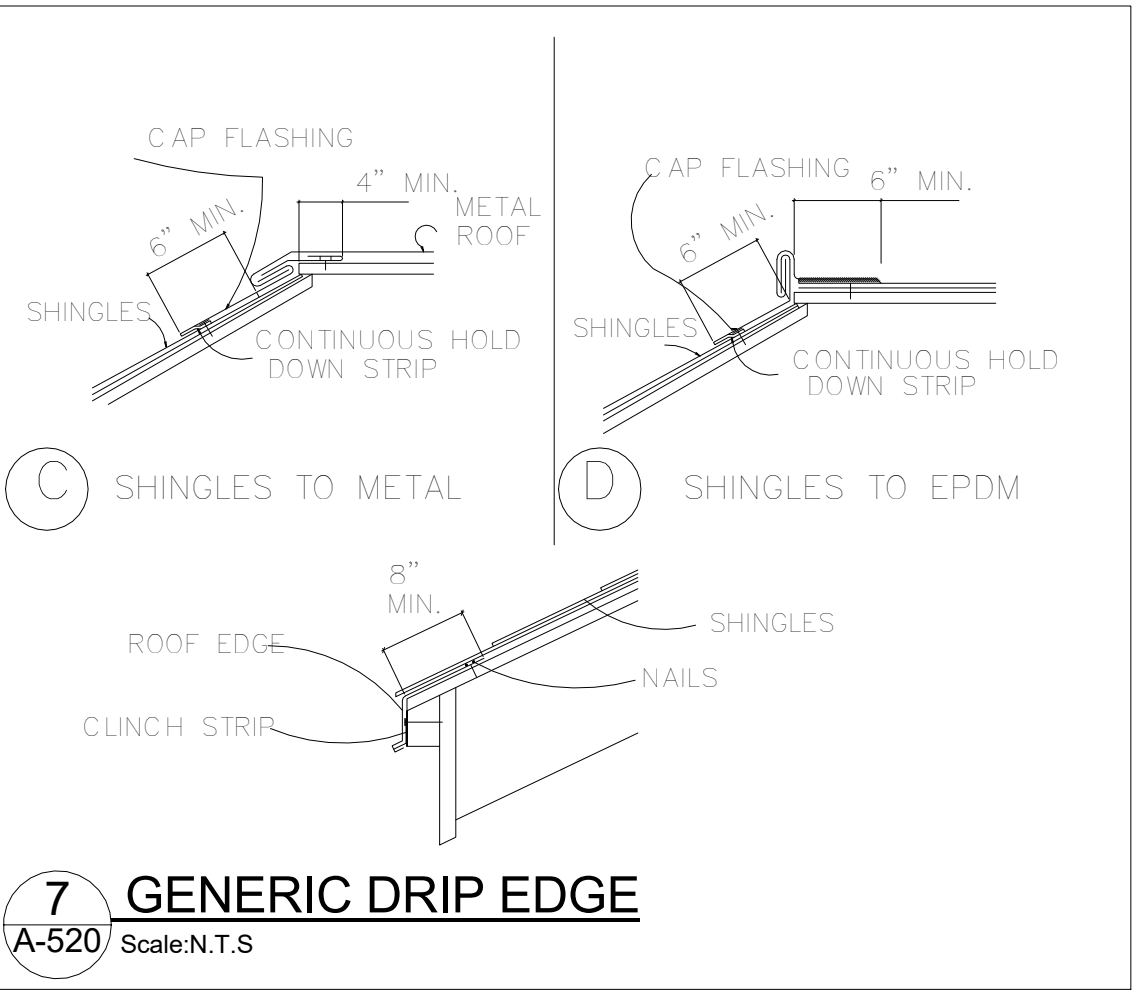
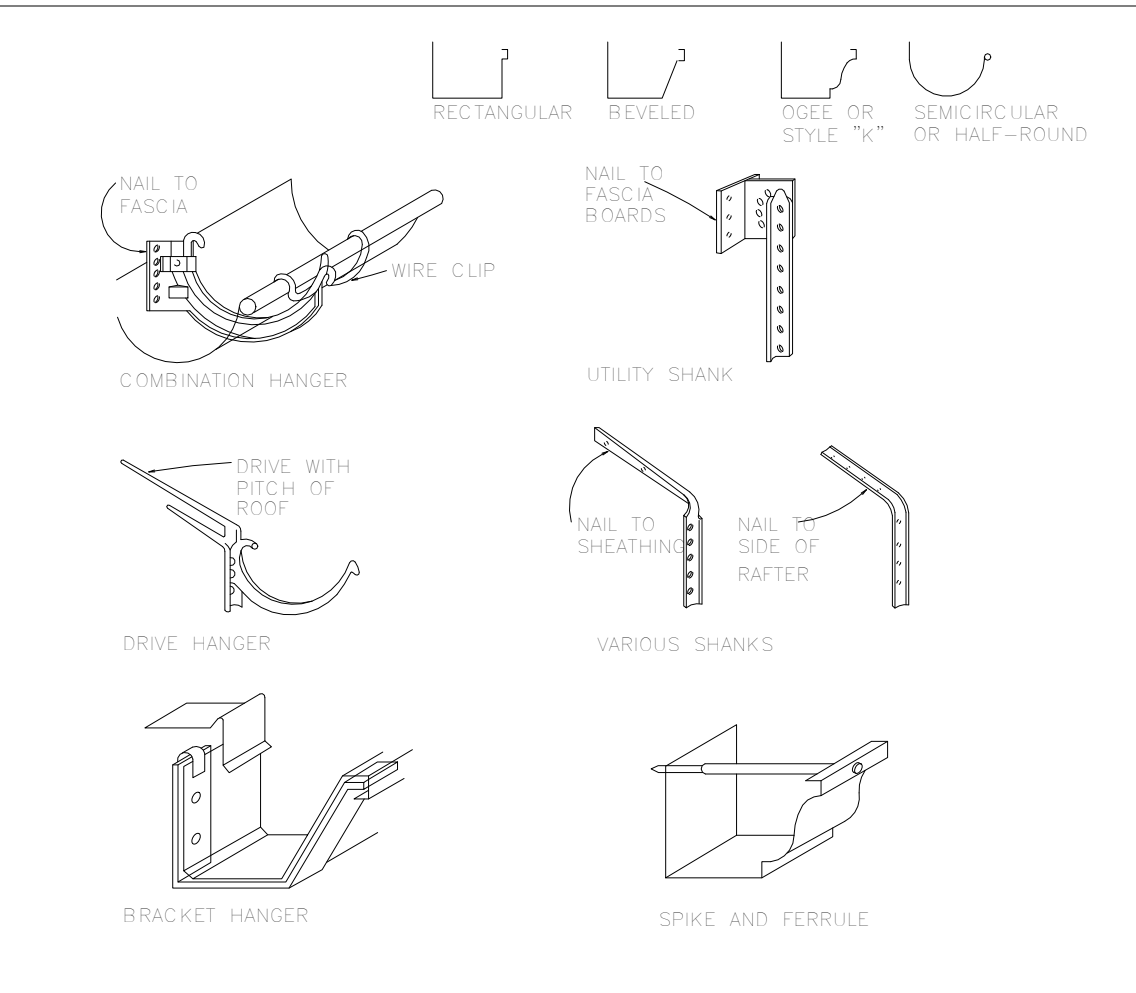
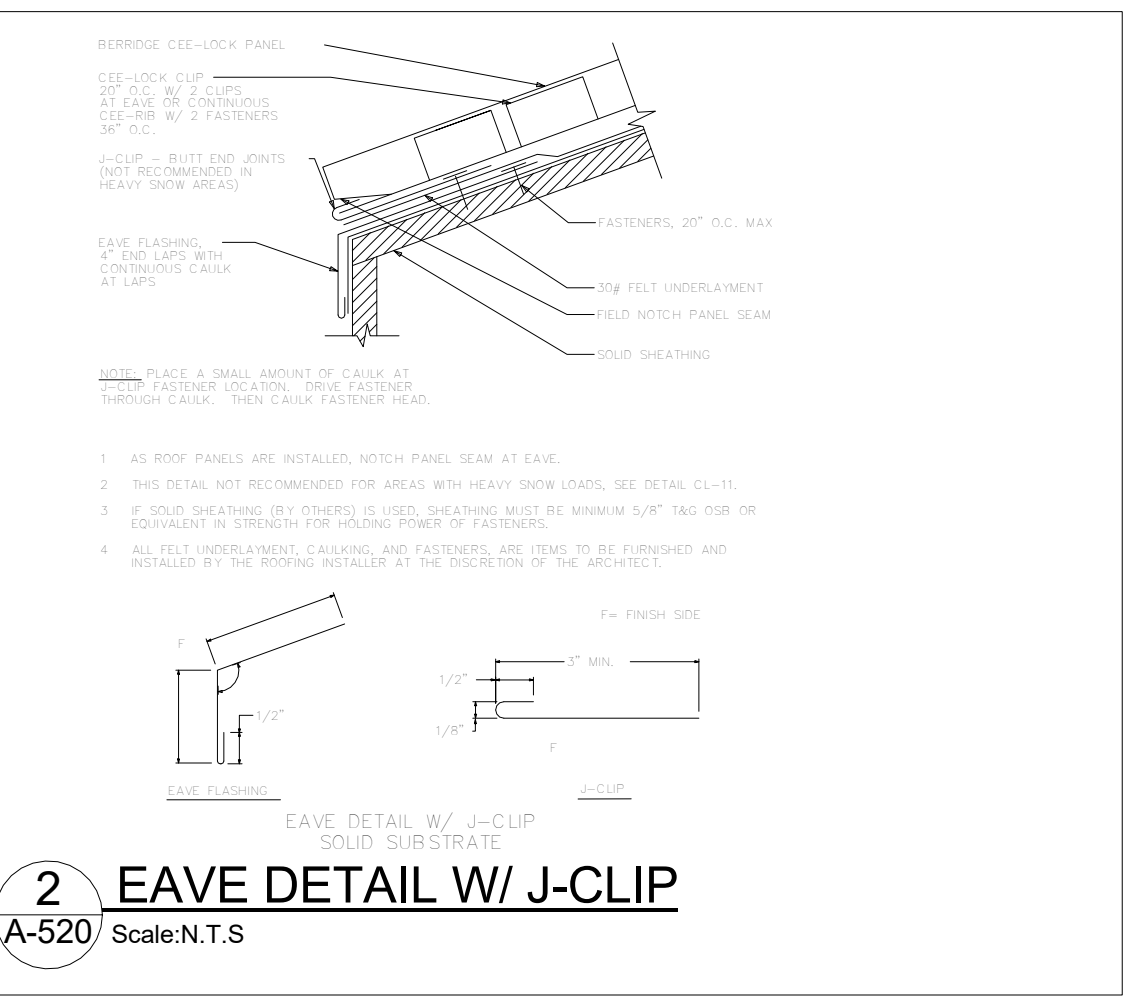
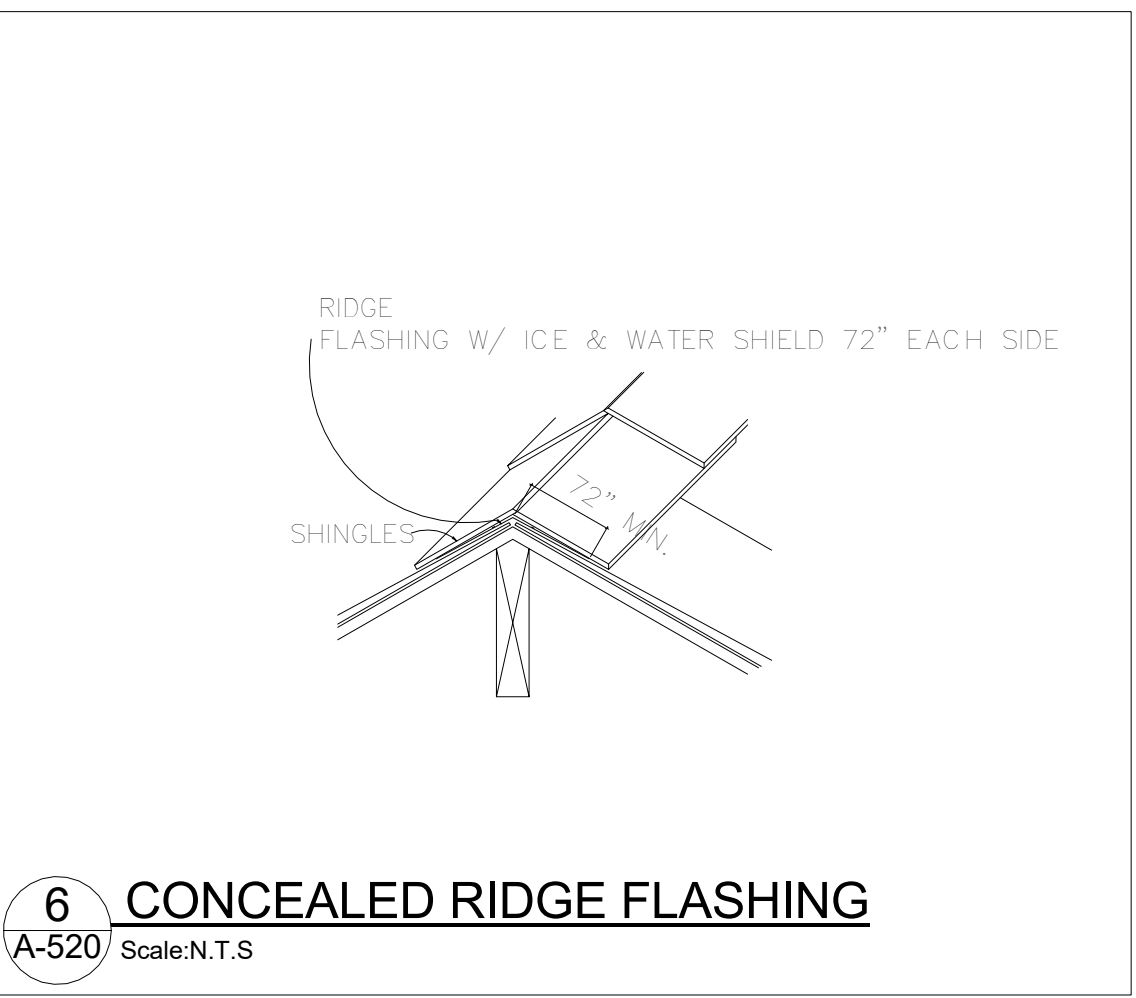
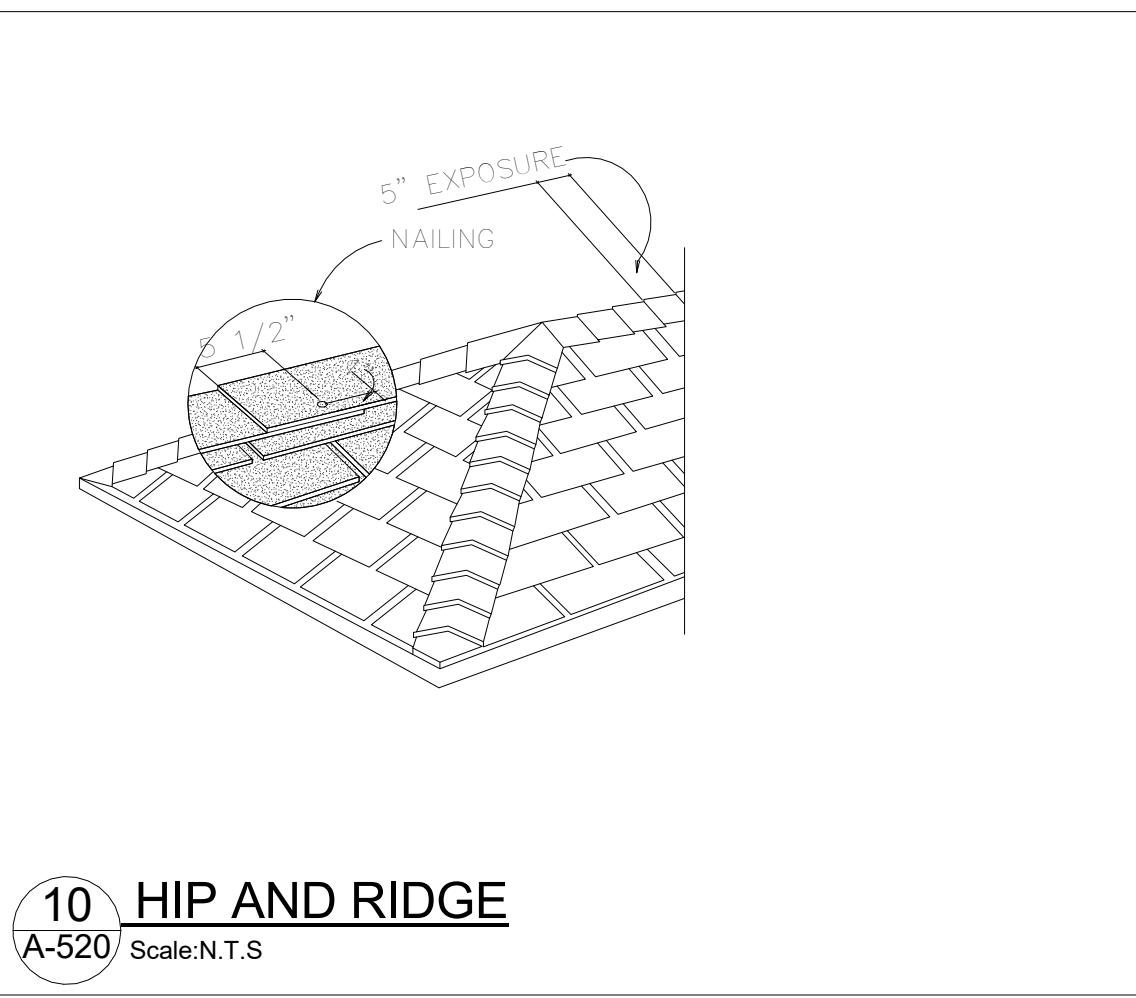
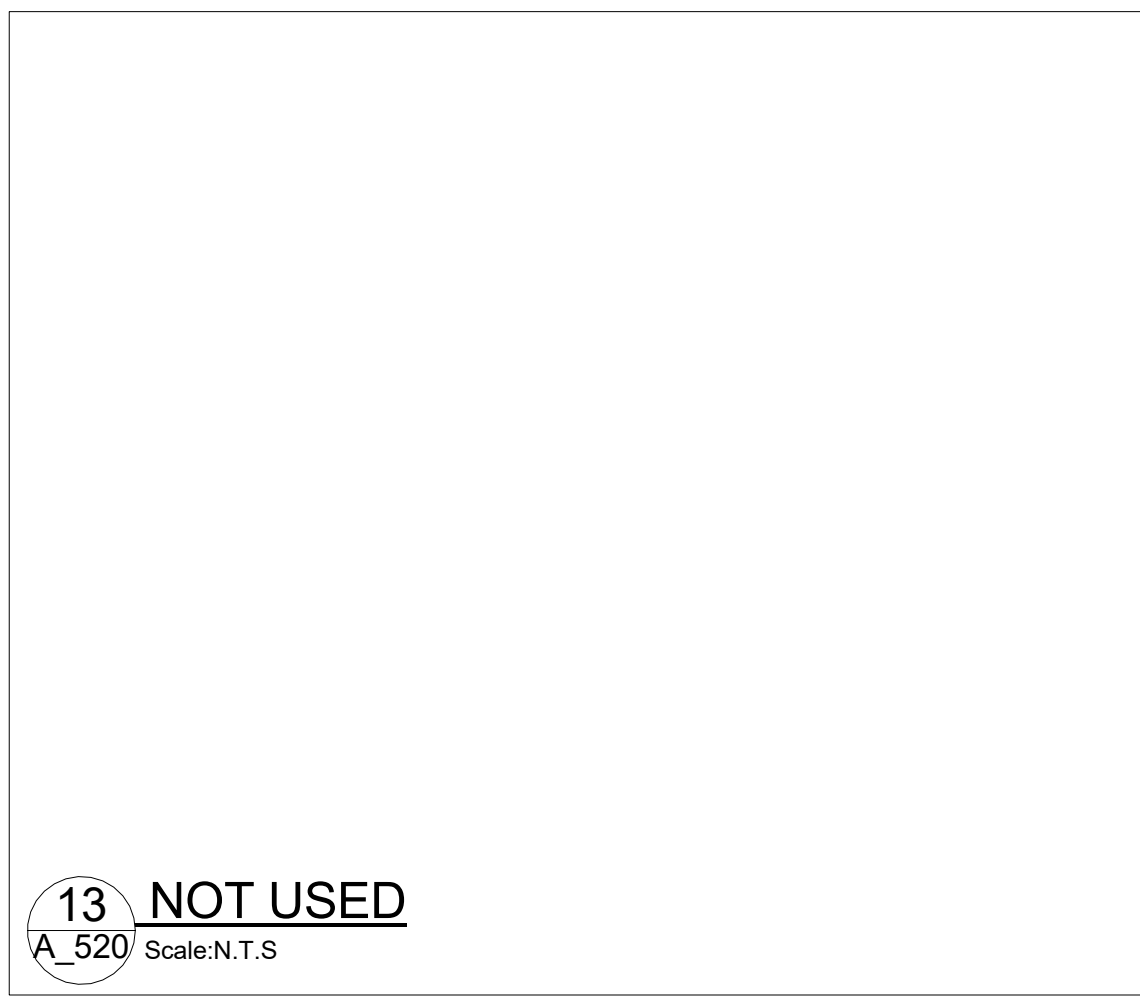
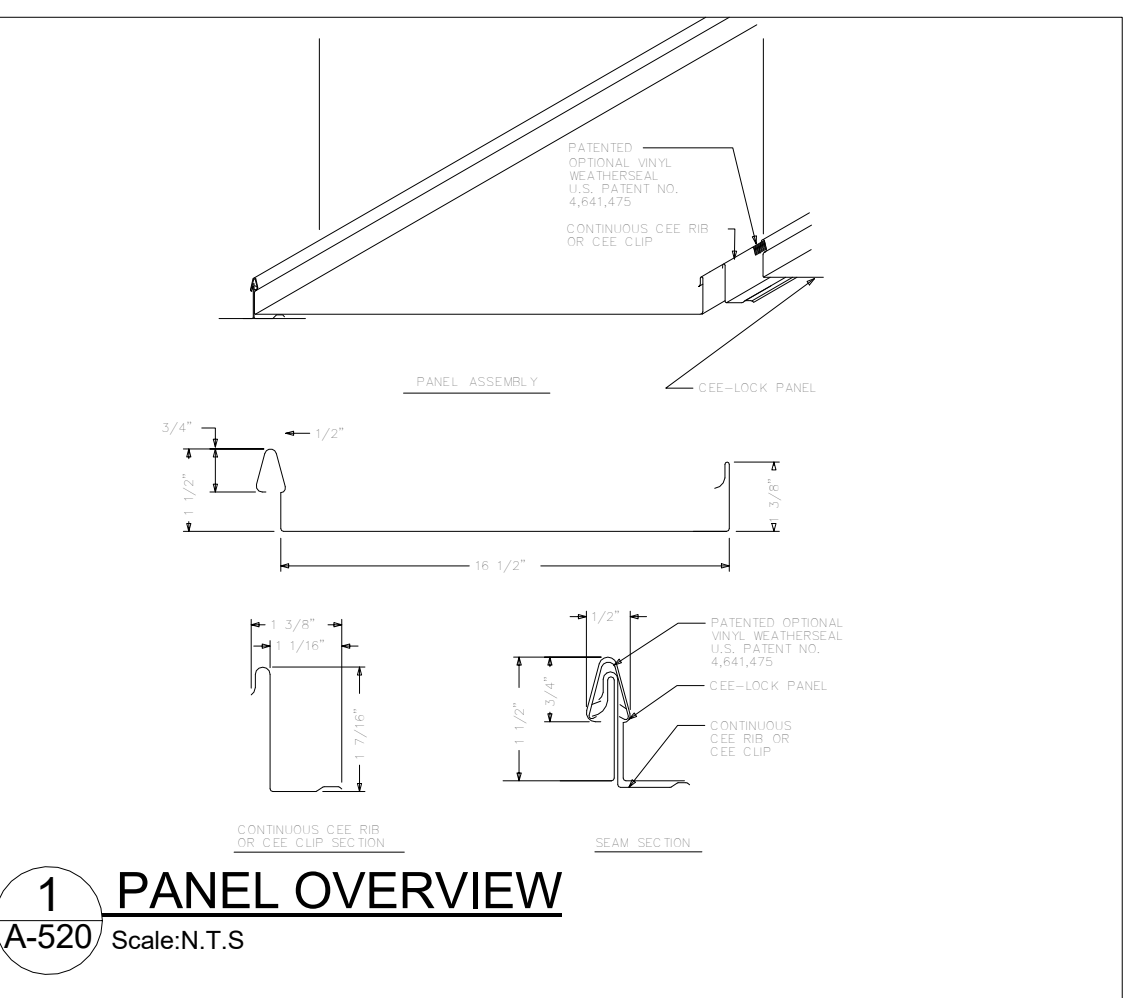
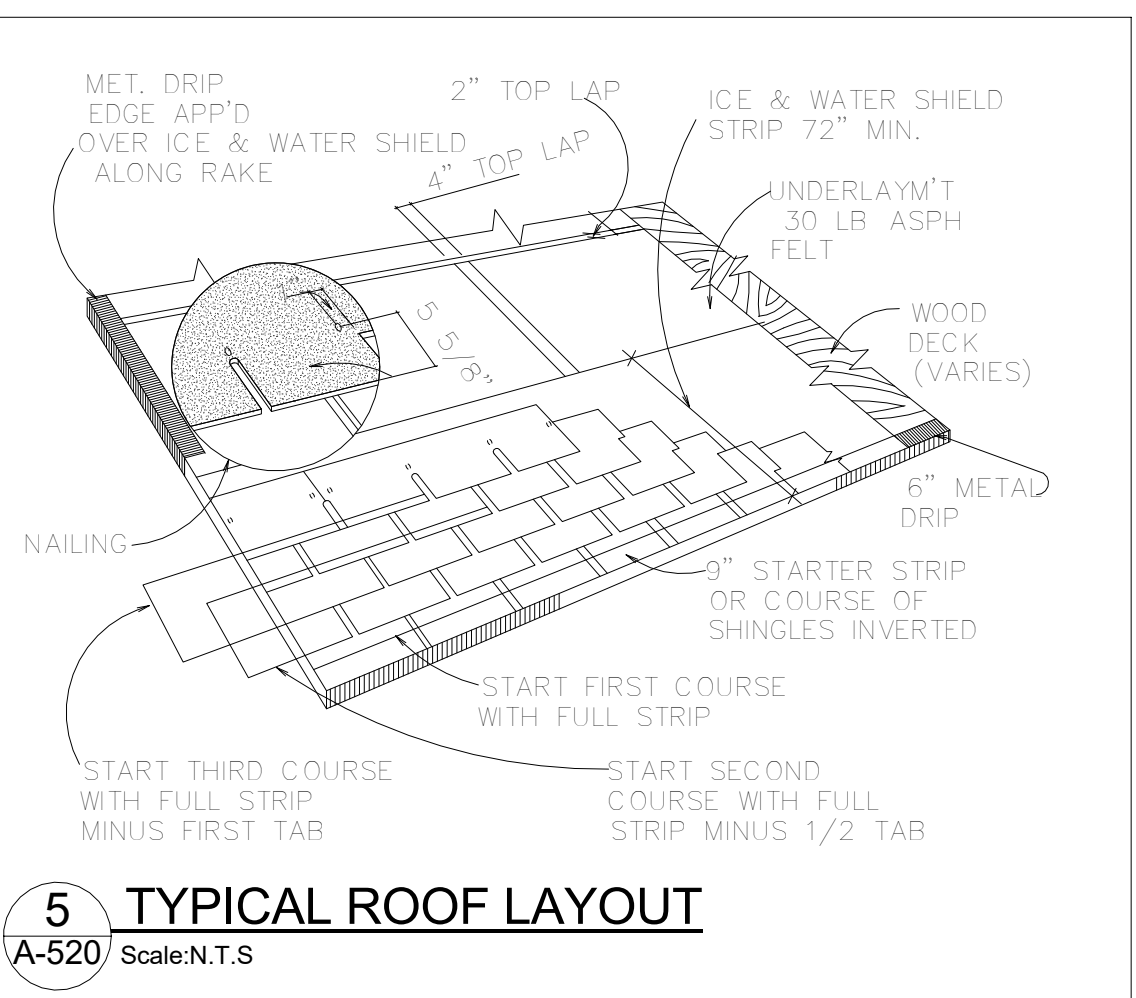
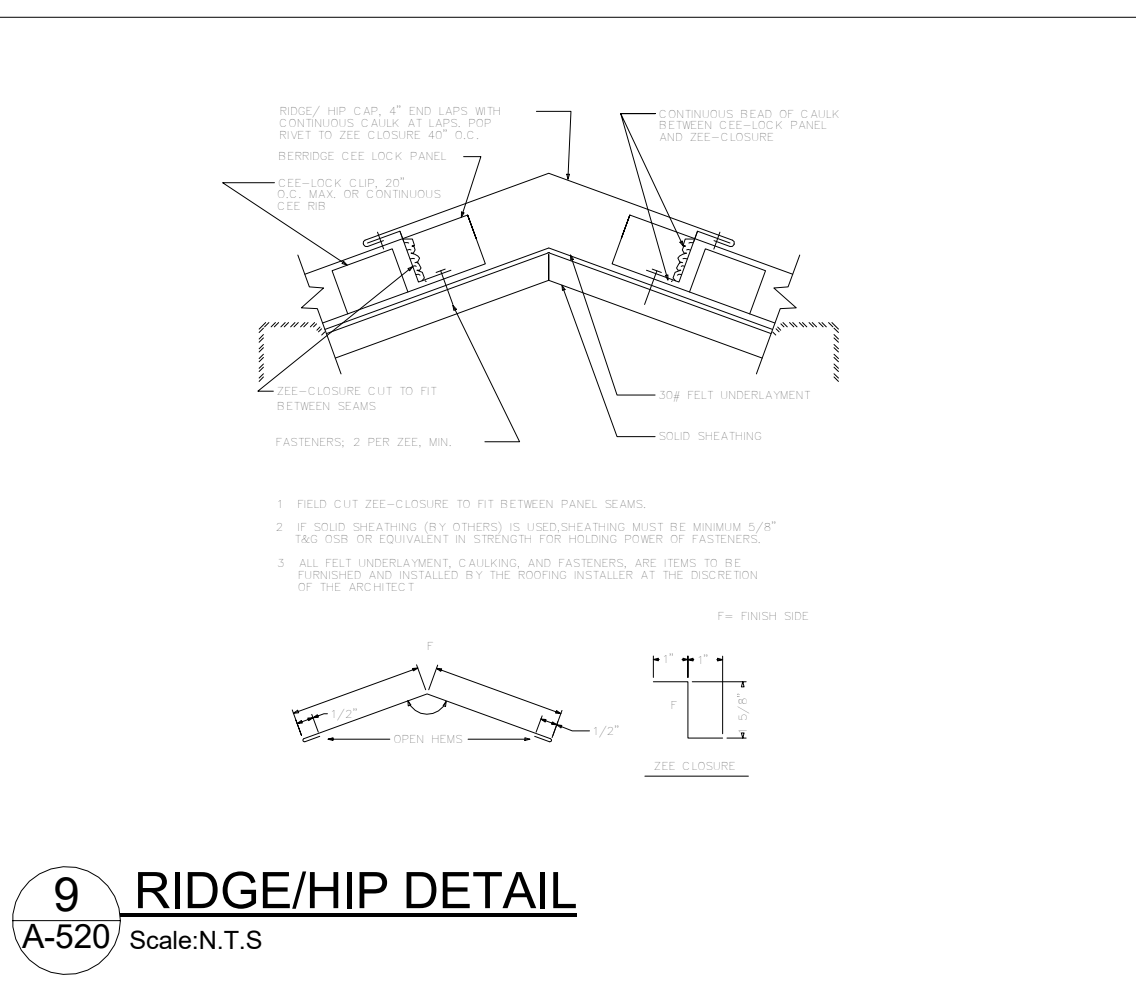
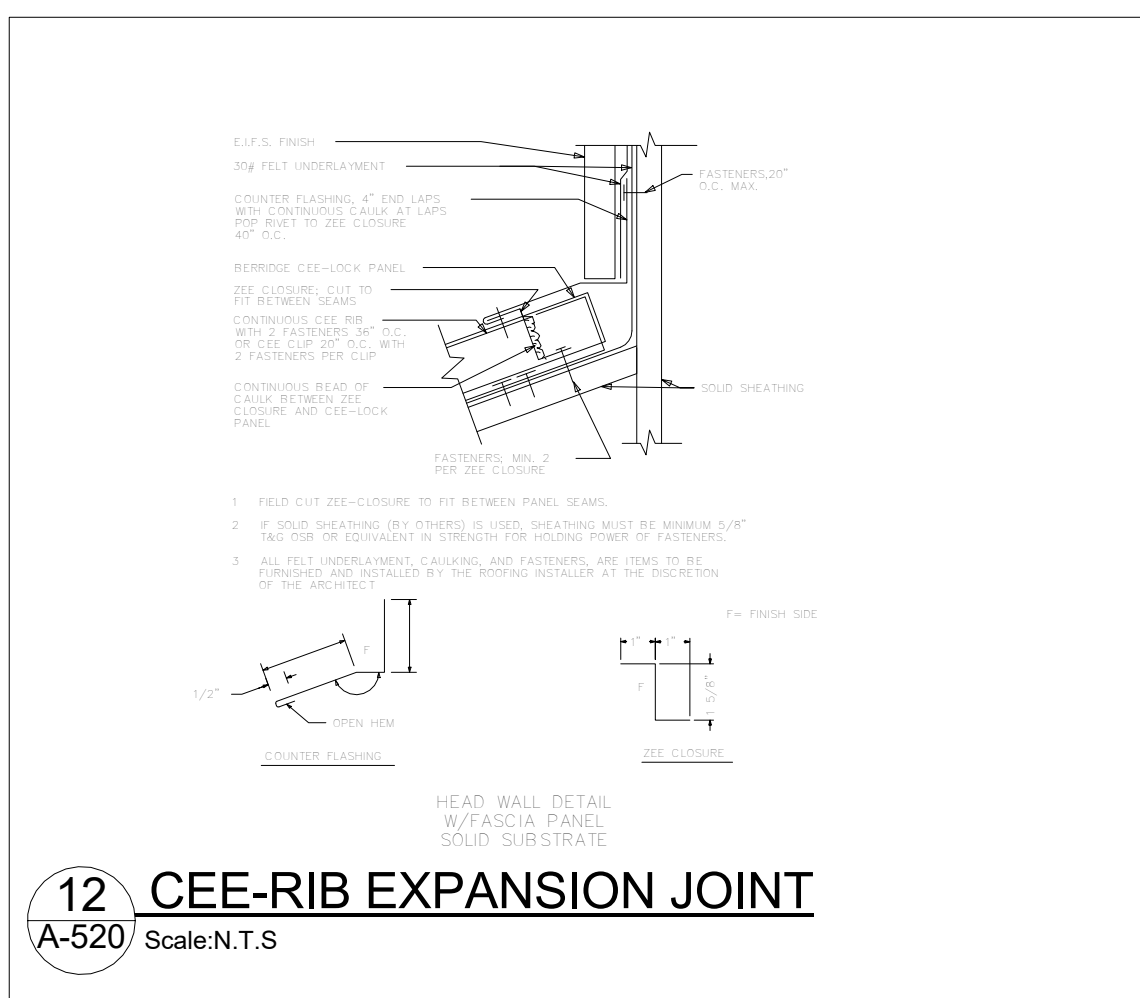
REVISIONS

No.	Description	Date

Wall Sections & Details

A-410

Mystic Ave Residences



PROJECT NAME

Mystic Ave Residences

PROJECT ADDRESS

654 Mystic Ave.
Somerville, MA

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ARCHITECT



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Scale	1" = 1'-0"

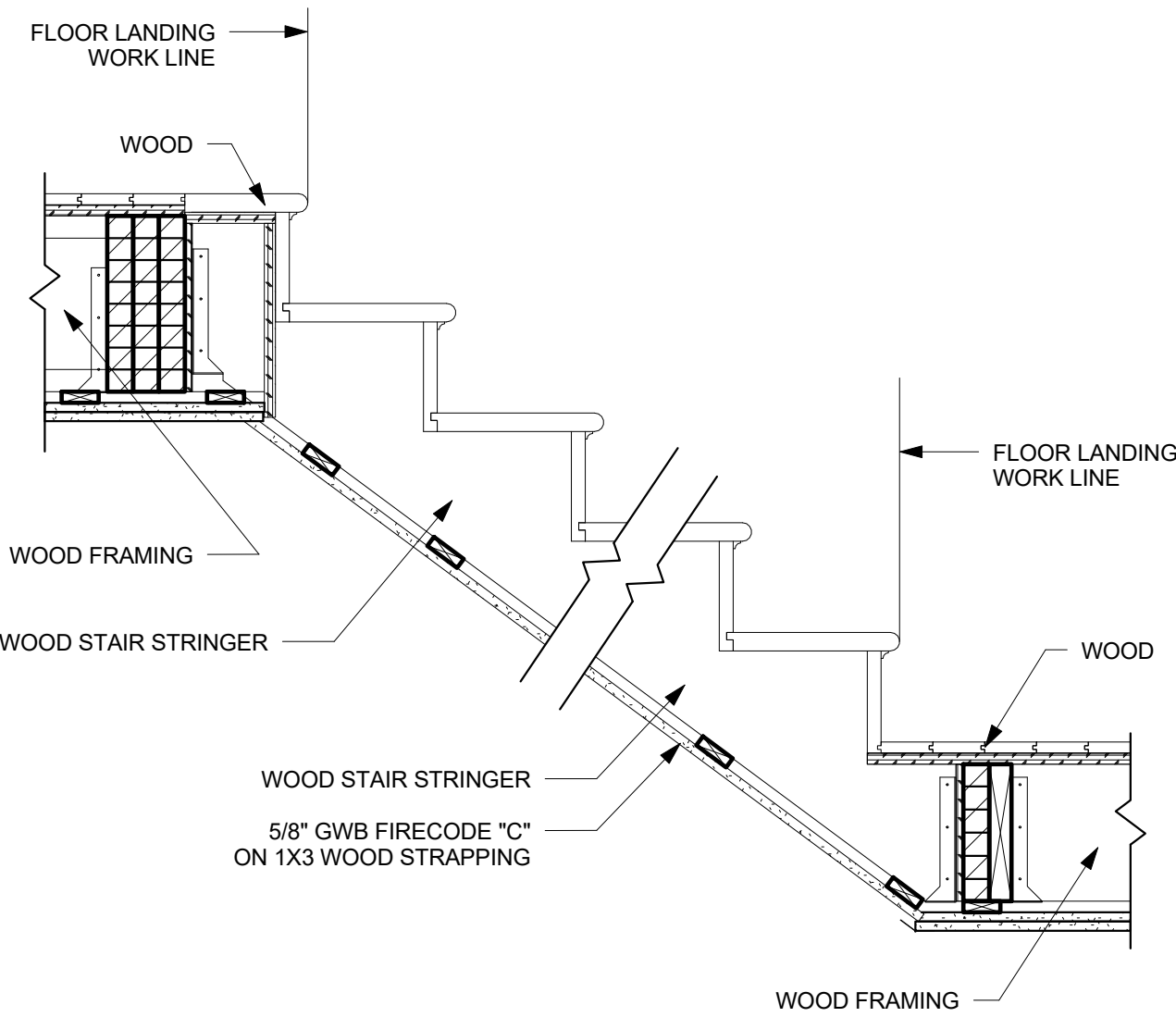
REVISIONS

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Roof Details - Sloped

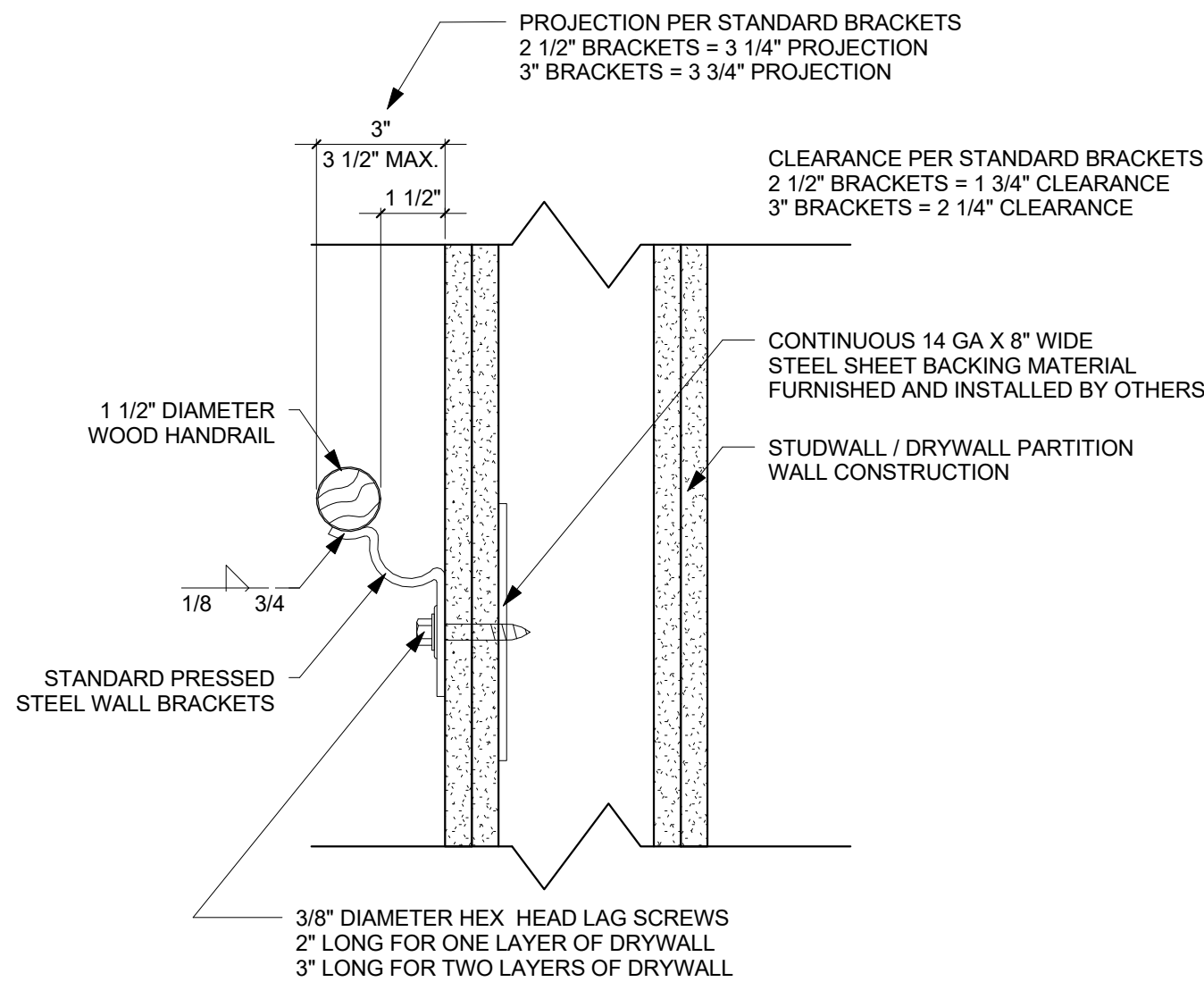
A-521

Mystic Ave Residences



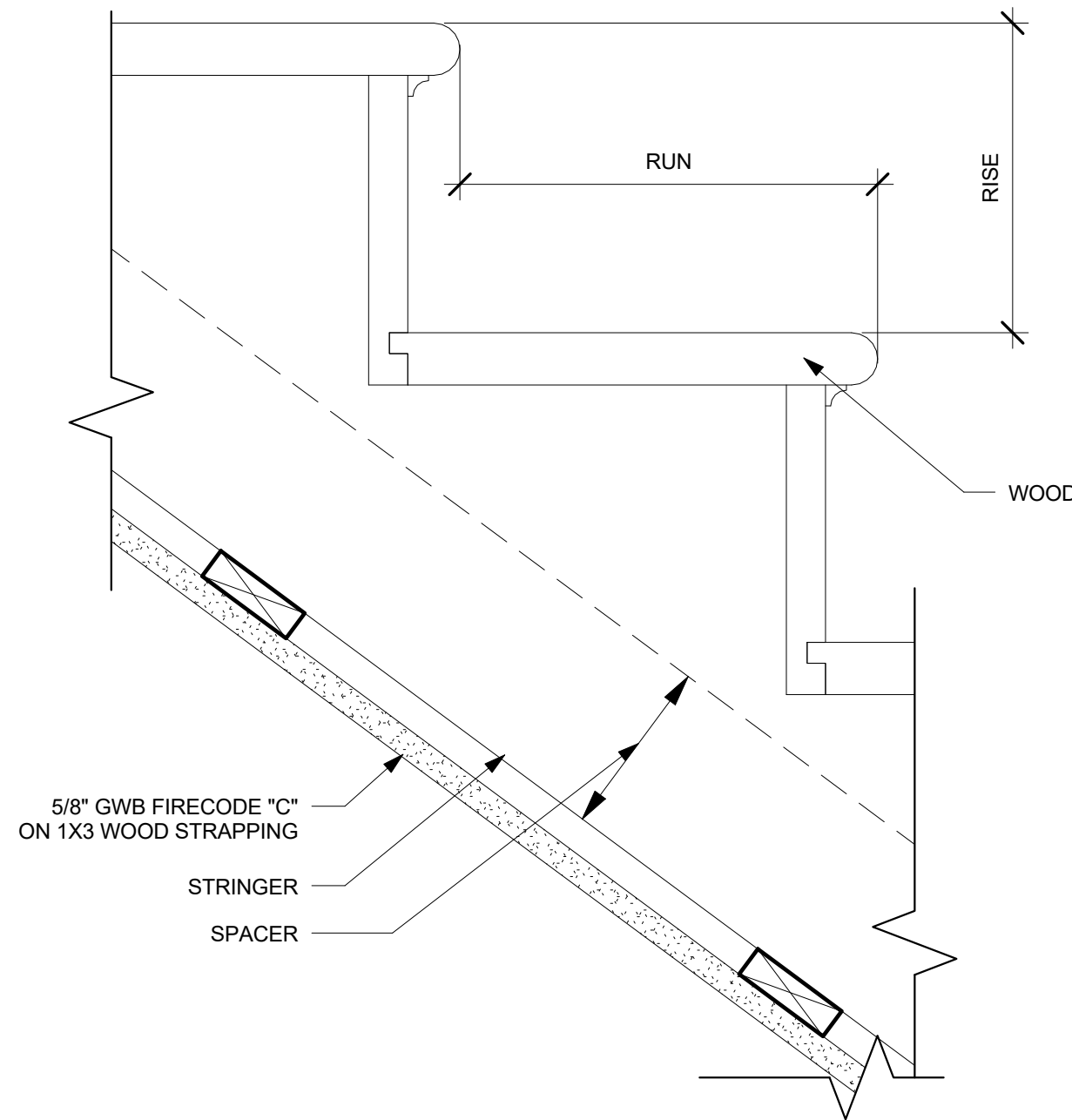
6 TYPICAL STAIR SECTION

A-710 SCALE: 1" = 1'-0"



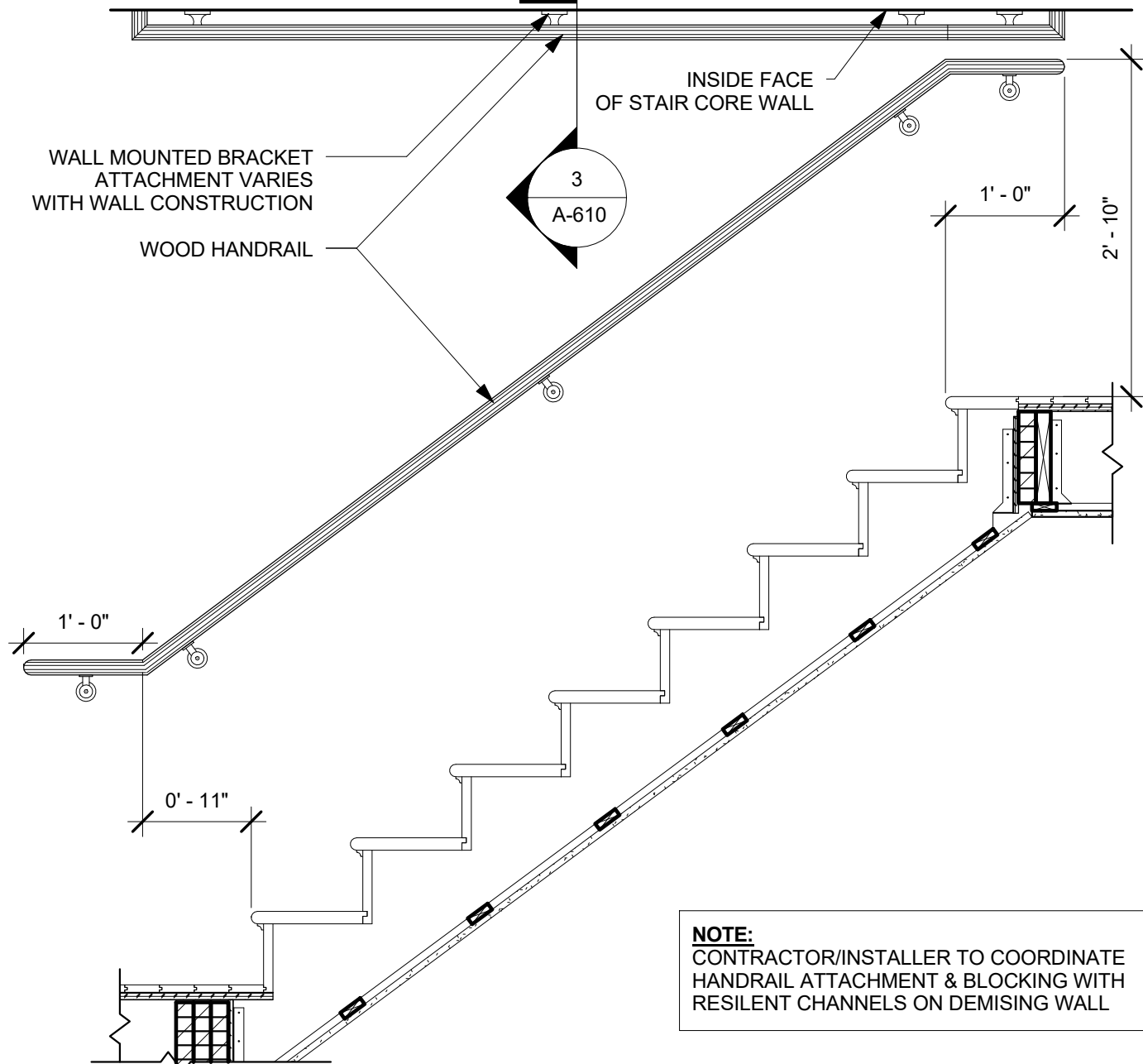
3 WALL HANDRAIL BRACKET MOUNTING DETAIL

A-710 SCALE: 3" = 1'-0"



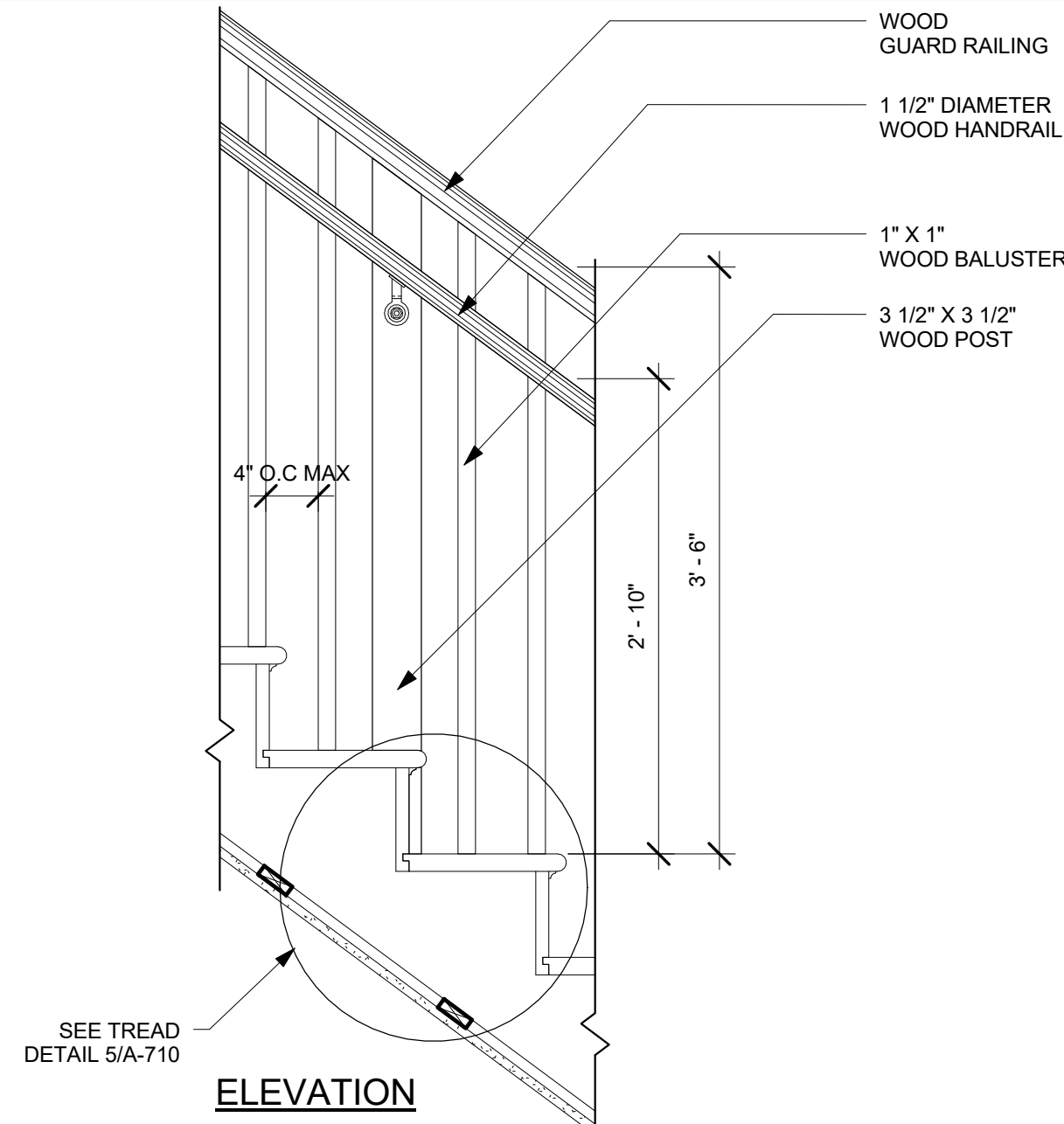
5 WOOD STAIR DETAIL

A-710 SCALE: 3" = 1'-0"



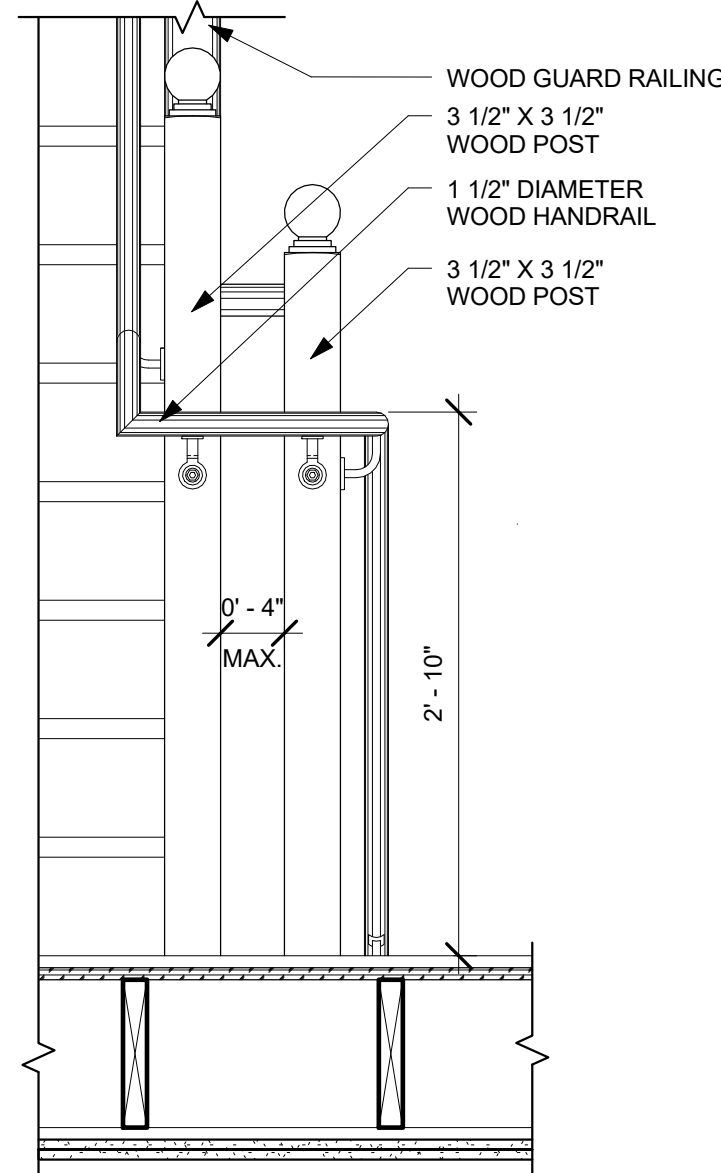
2 TYPICAL WALL RAIL

A-710 SCALE: 3/4" = 1'-0"



4 PICKET RAIL INTERMEDIATE POST

A-710 SCALE: 1" = 1'-0"



1 PICKET RAIL TRANS. BETWEEN LANDINGS

A-710 SCALE: 1" = 1'-0"

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KHALSA

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PROSECUTION UNDER LAW

REGISTRATION



Project number 15106
Date 04-18-2018
Drawn by RC
Checked by JSK
Scale As indicated

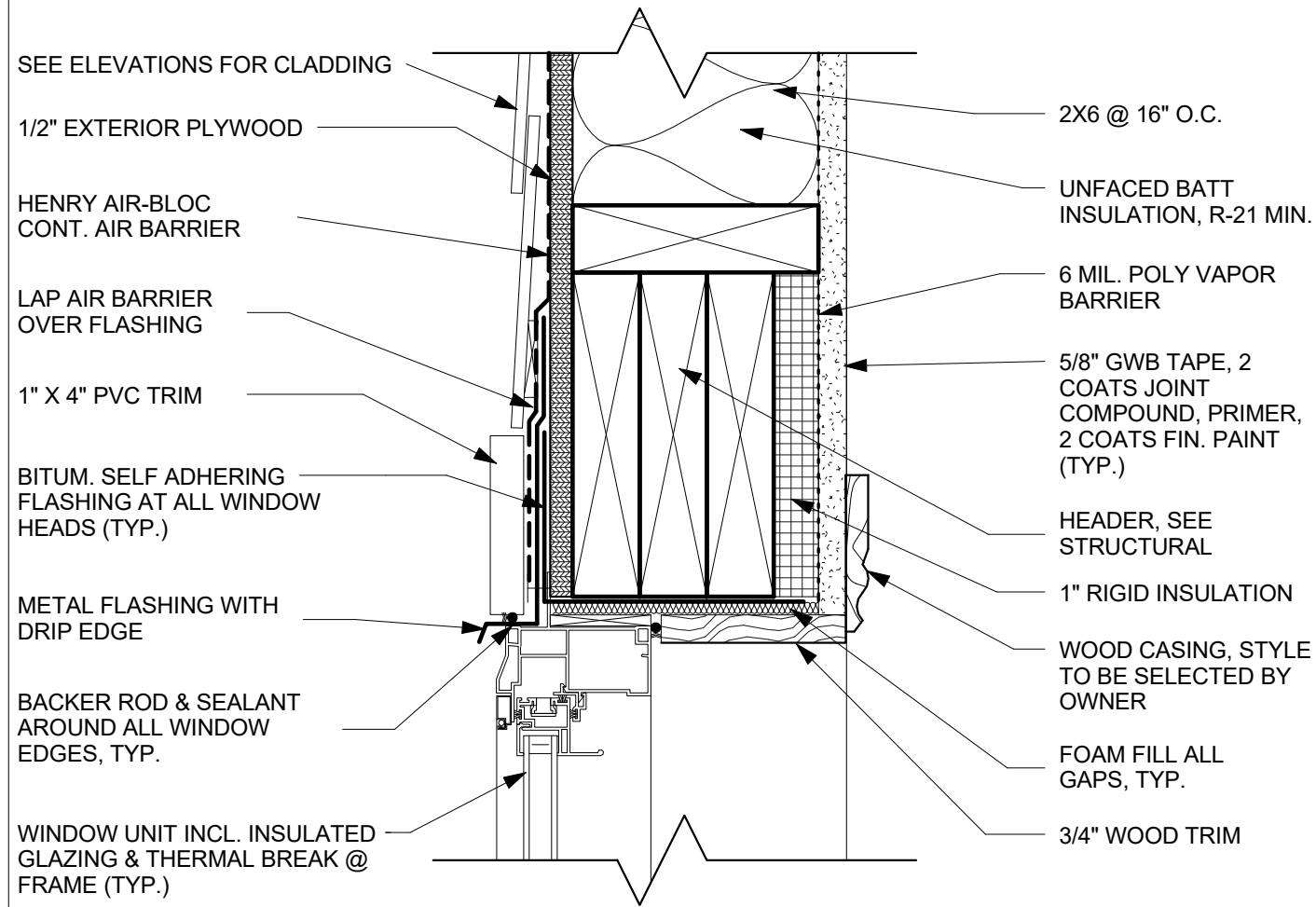
REVISIONS

No.	Description	Date

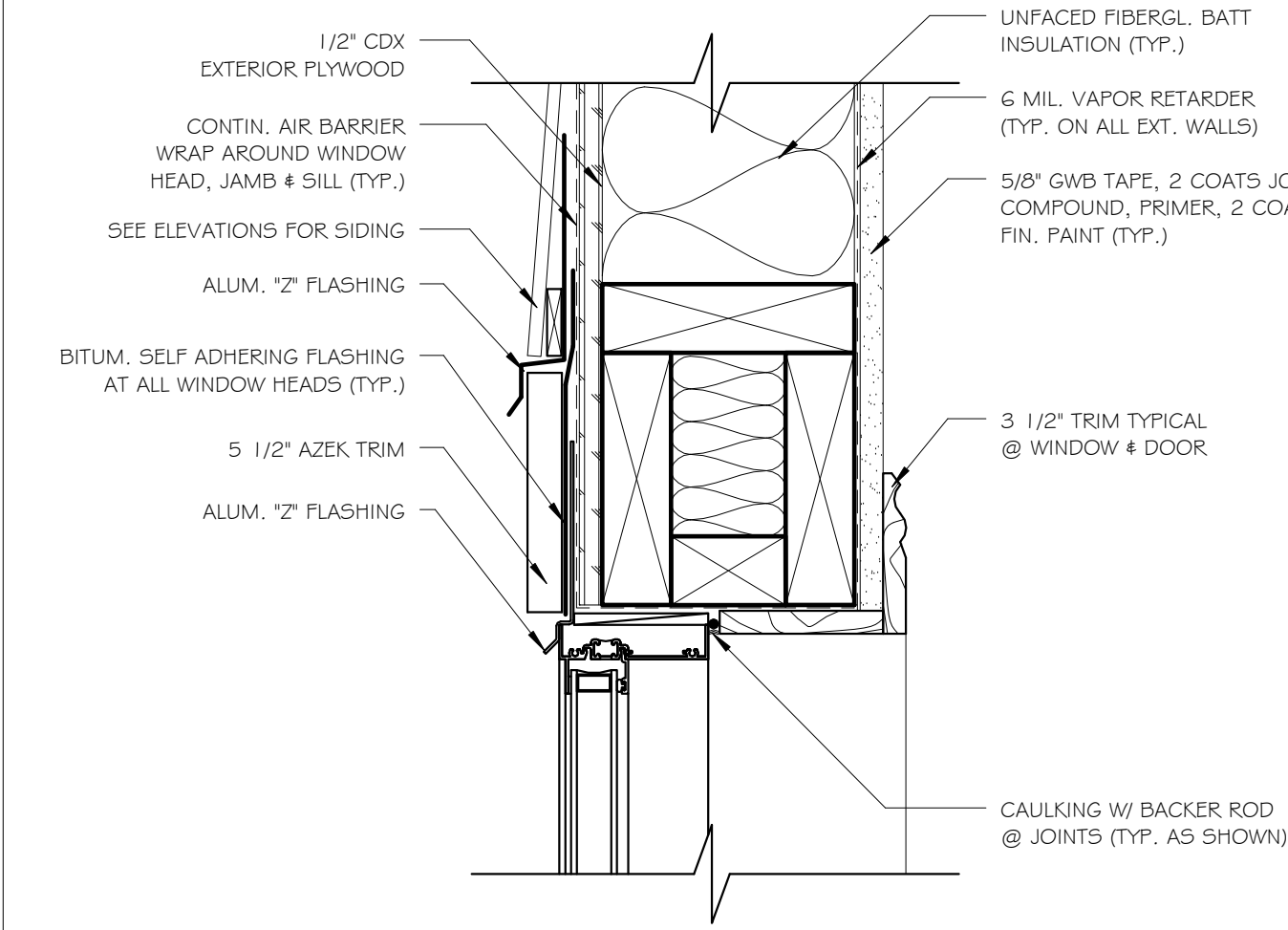
Stair Details

A-710

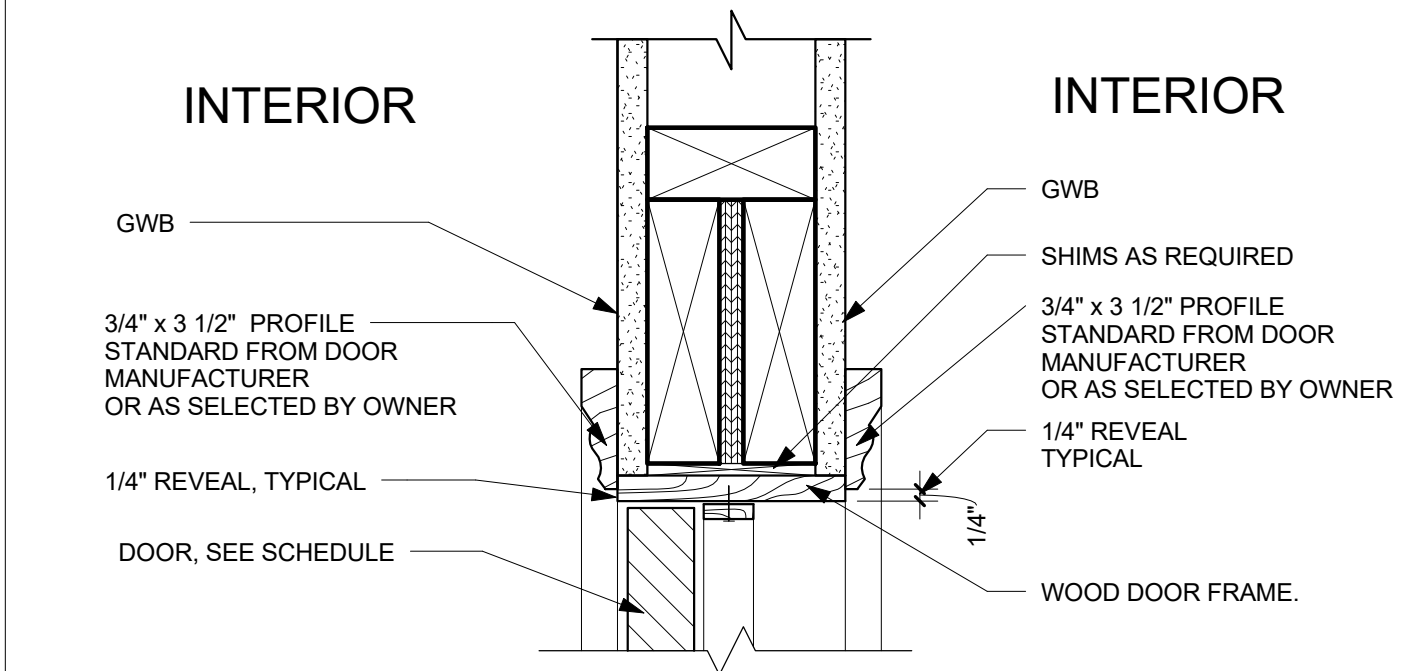
Mystic Ave Residences



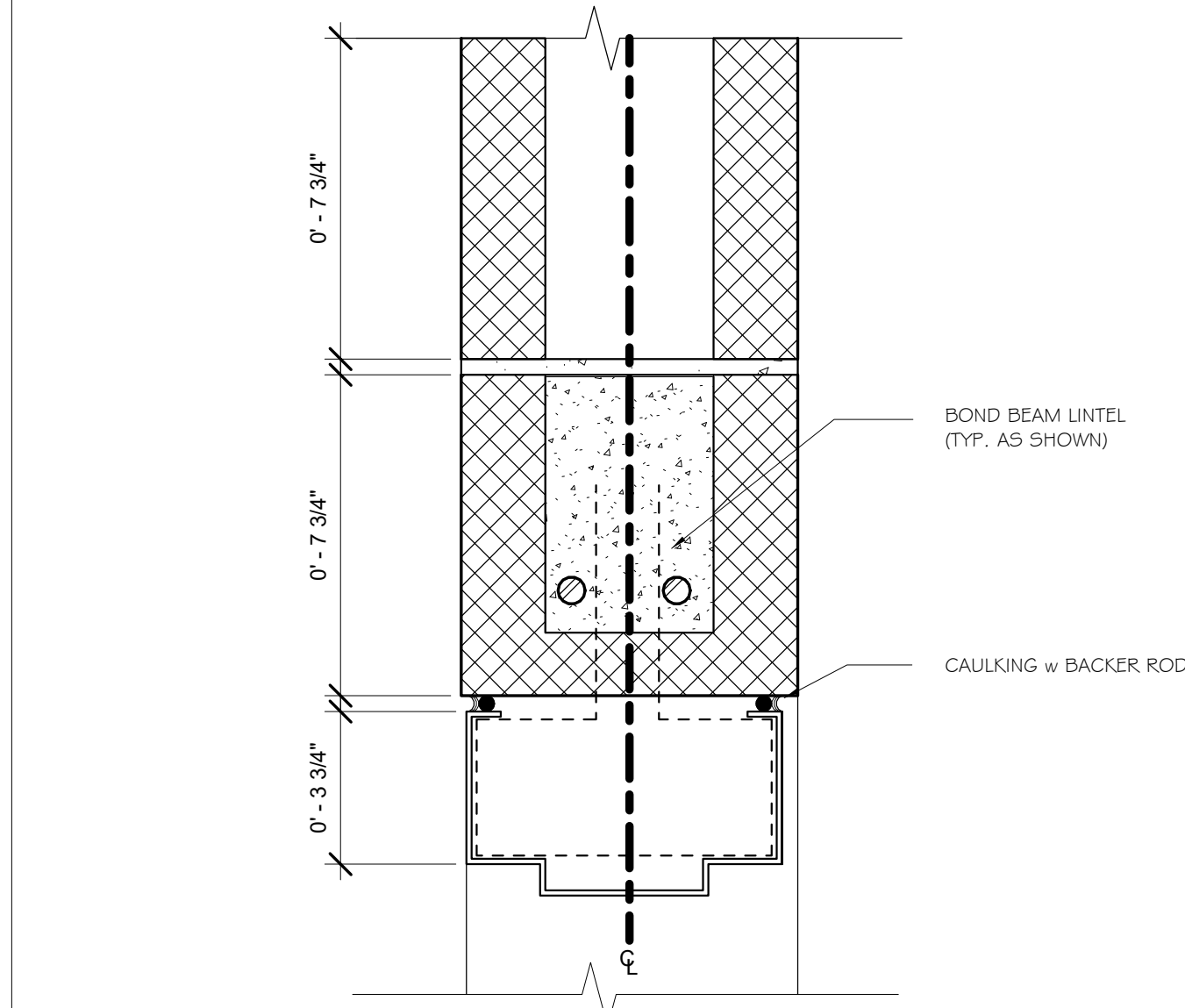
1 WINDOW HEAD DETAIL
A-801 Scale: 3"=1'-0"



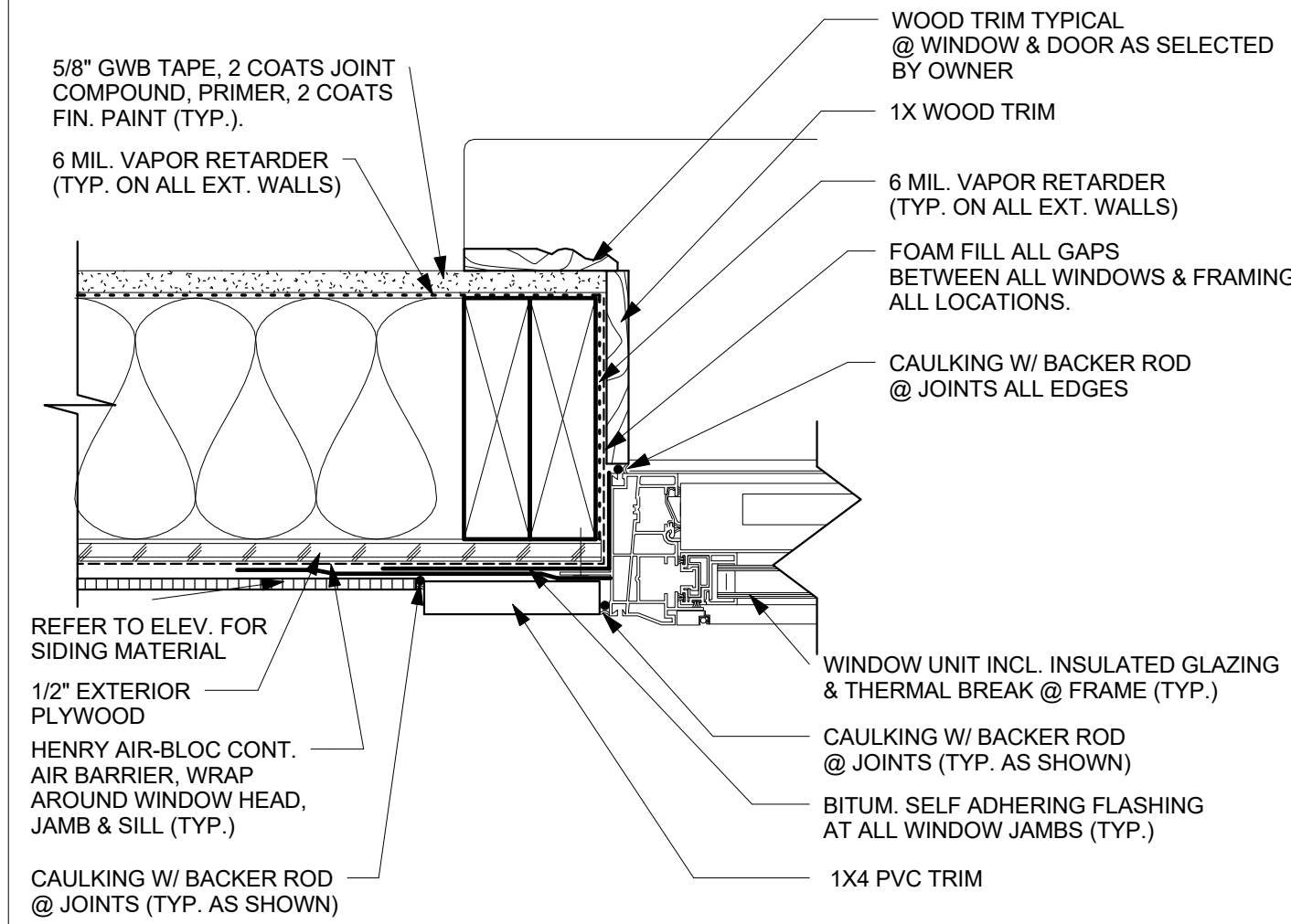
4 SLIDING DOOR HEAD DETAIL @ BALCONY
A-801 Scale: 3"=1'-0"



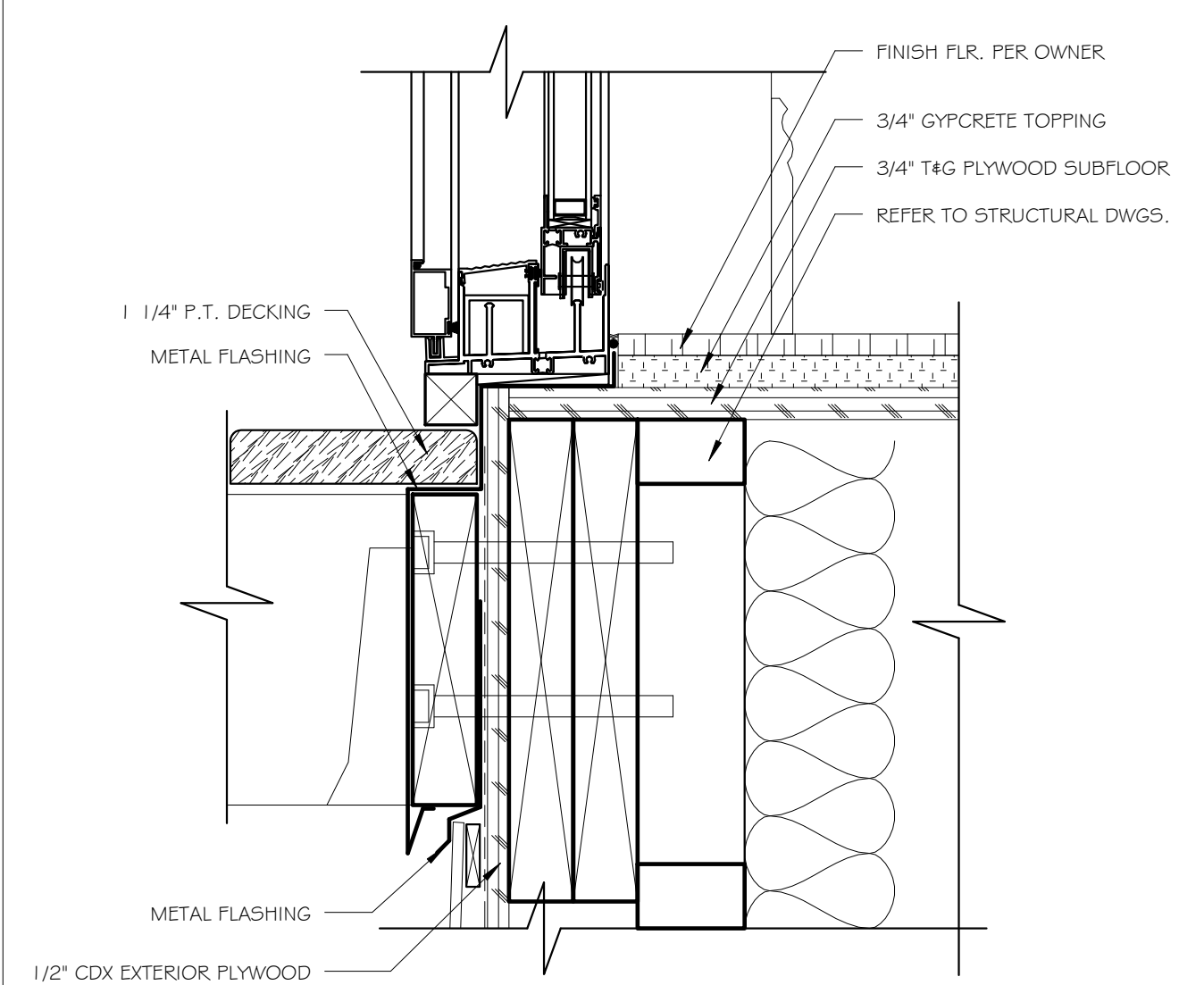
7 INTERIOR WOOD FRAME- DOOR HEAD DETAIL
A-801 Scale: 3"=1'-0"



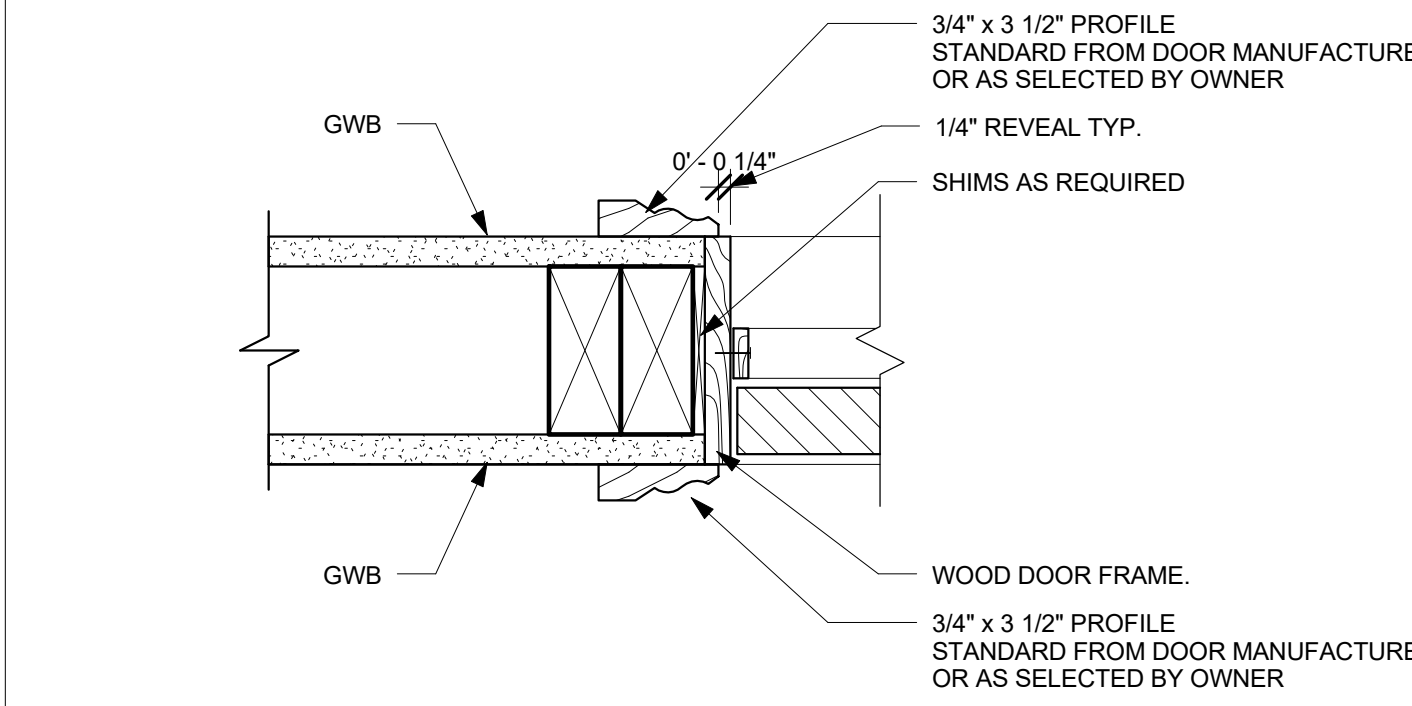
10 DOOR HEAD DETAIL @ CMU
A-801 Scale: 3"=1'-0"



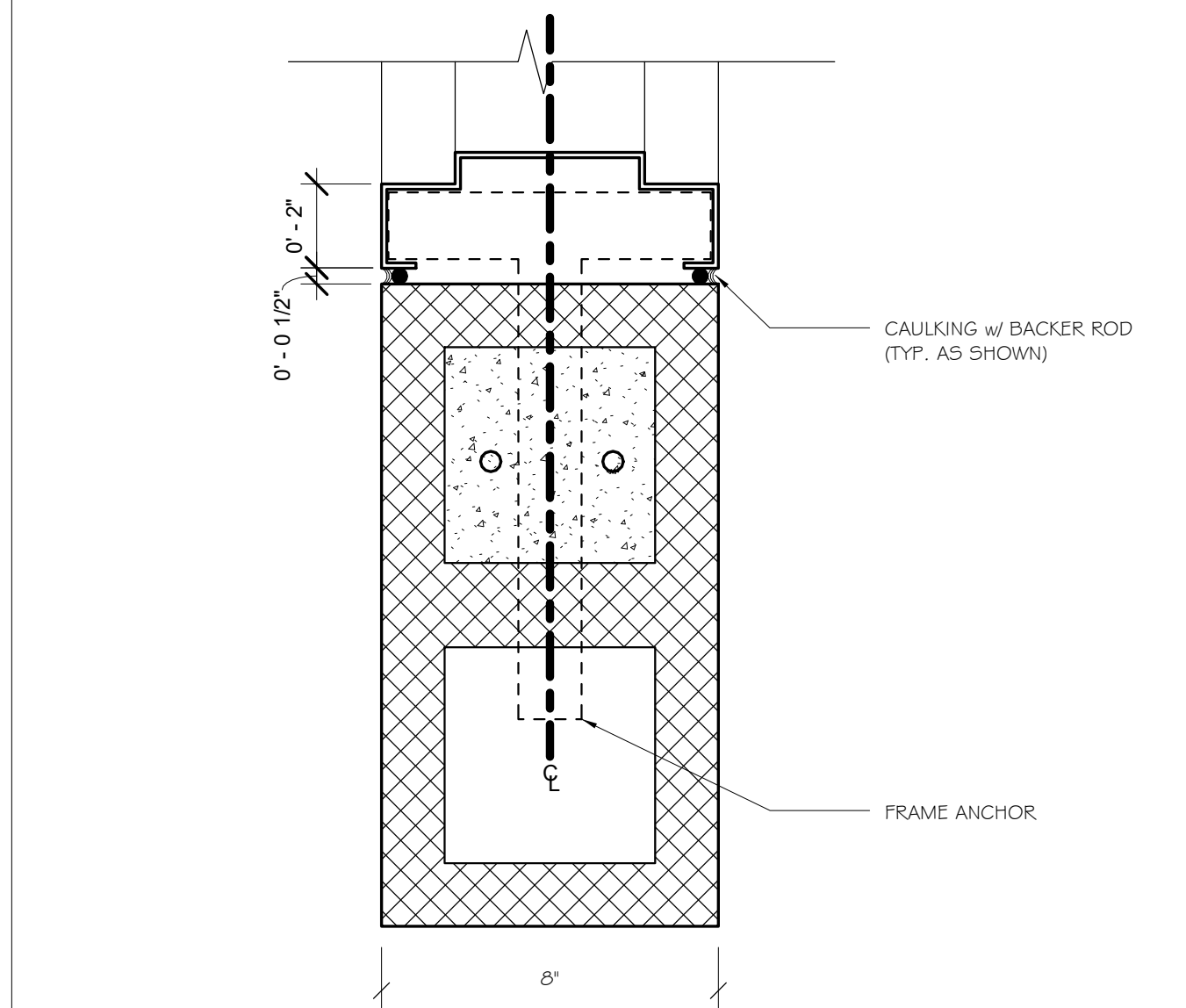
2 WINDOW JAMB DETAIL
A-801 Scale: 3"=1'-0"



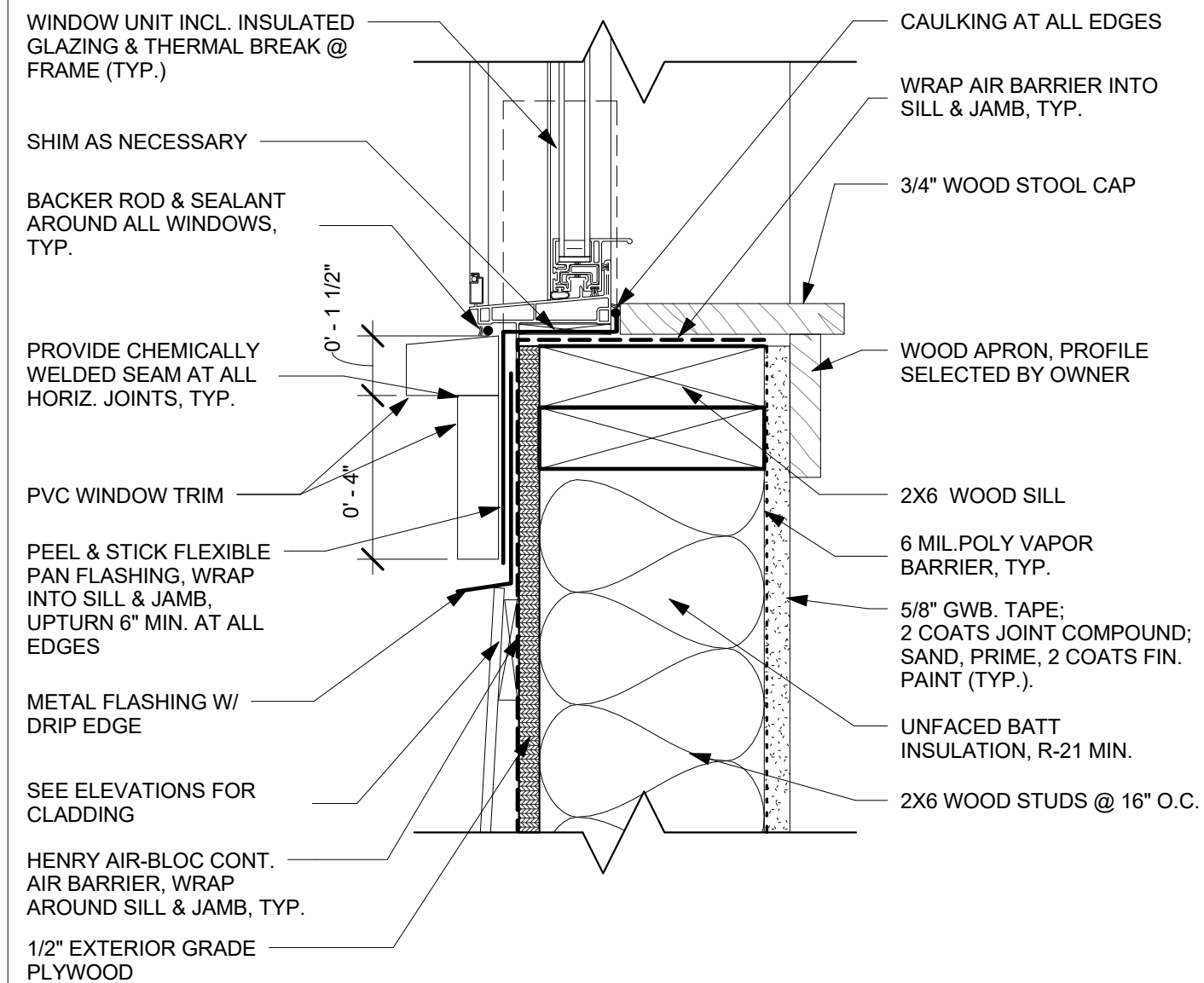
5 SLIDING DOOR SILL DETAIL @ BALCONY
A-801 Scale: 3"=1'-0"



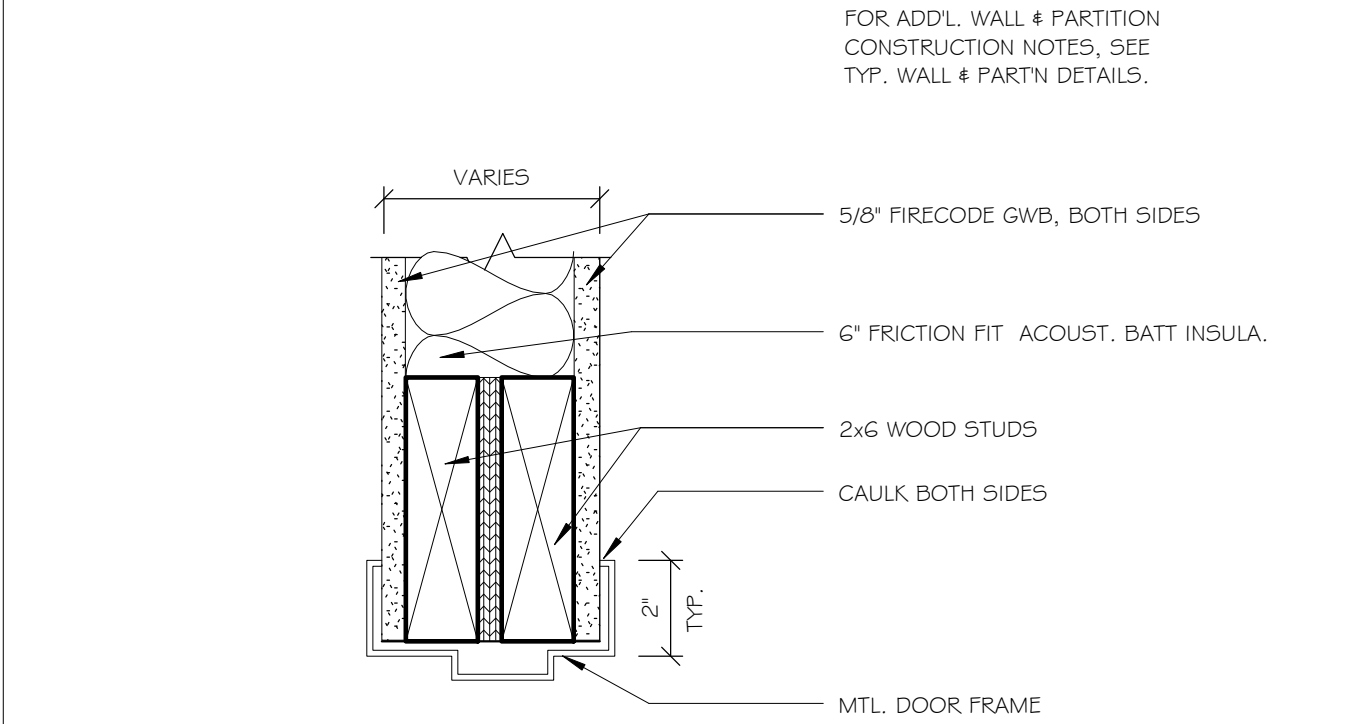
8 INTERIOR WOOD FRAME- DOOR JAMB DETAIL
A-801 Scale: 3"=1'-0"



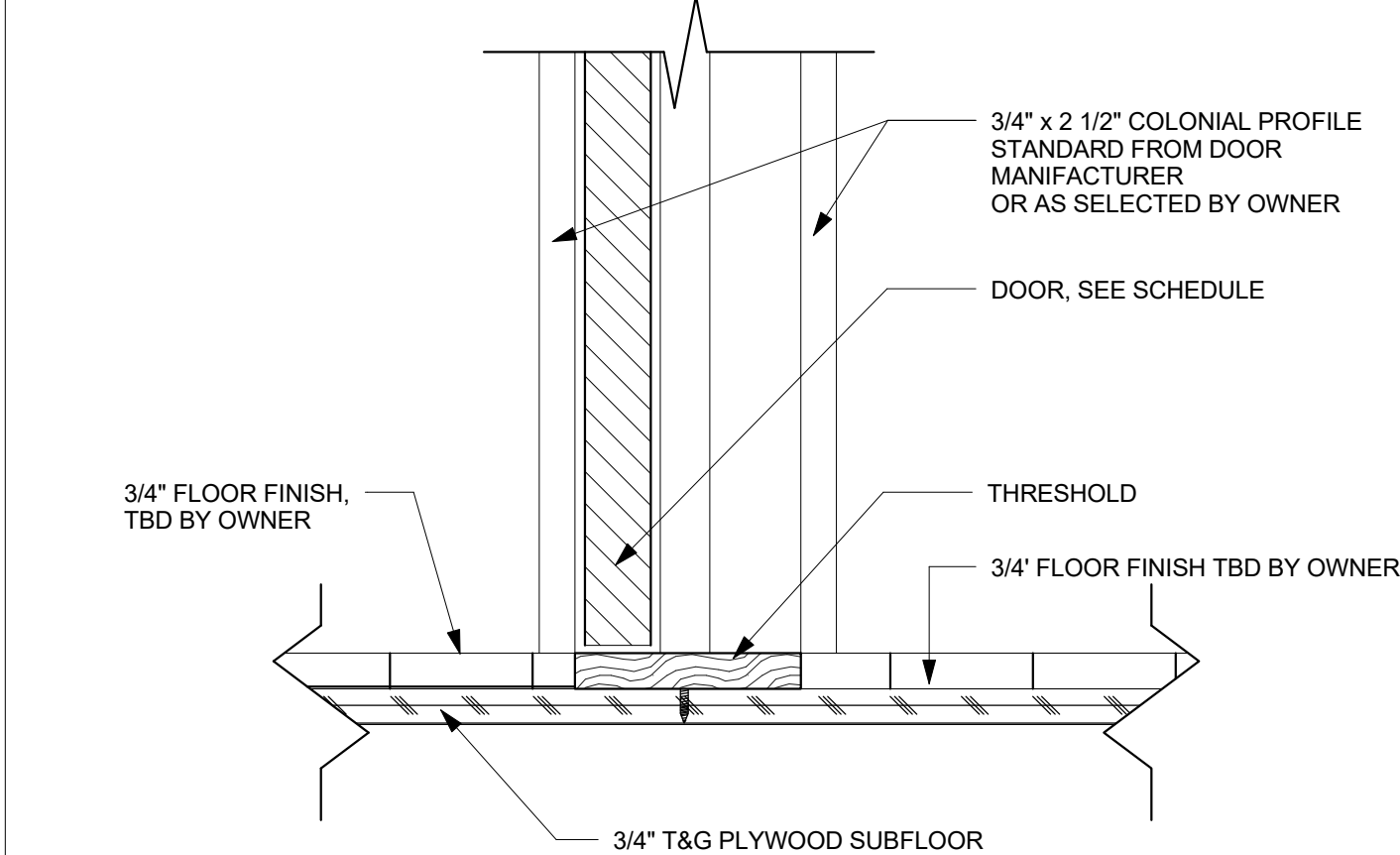
11 DOOR HEAD DETAIL @ CMU
A-801 Scale: 3"=1'-0"



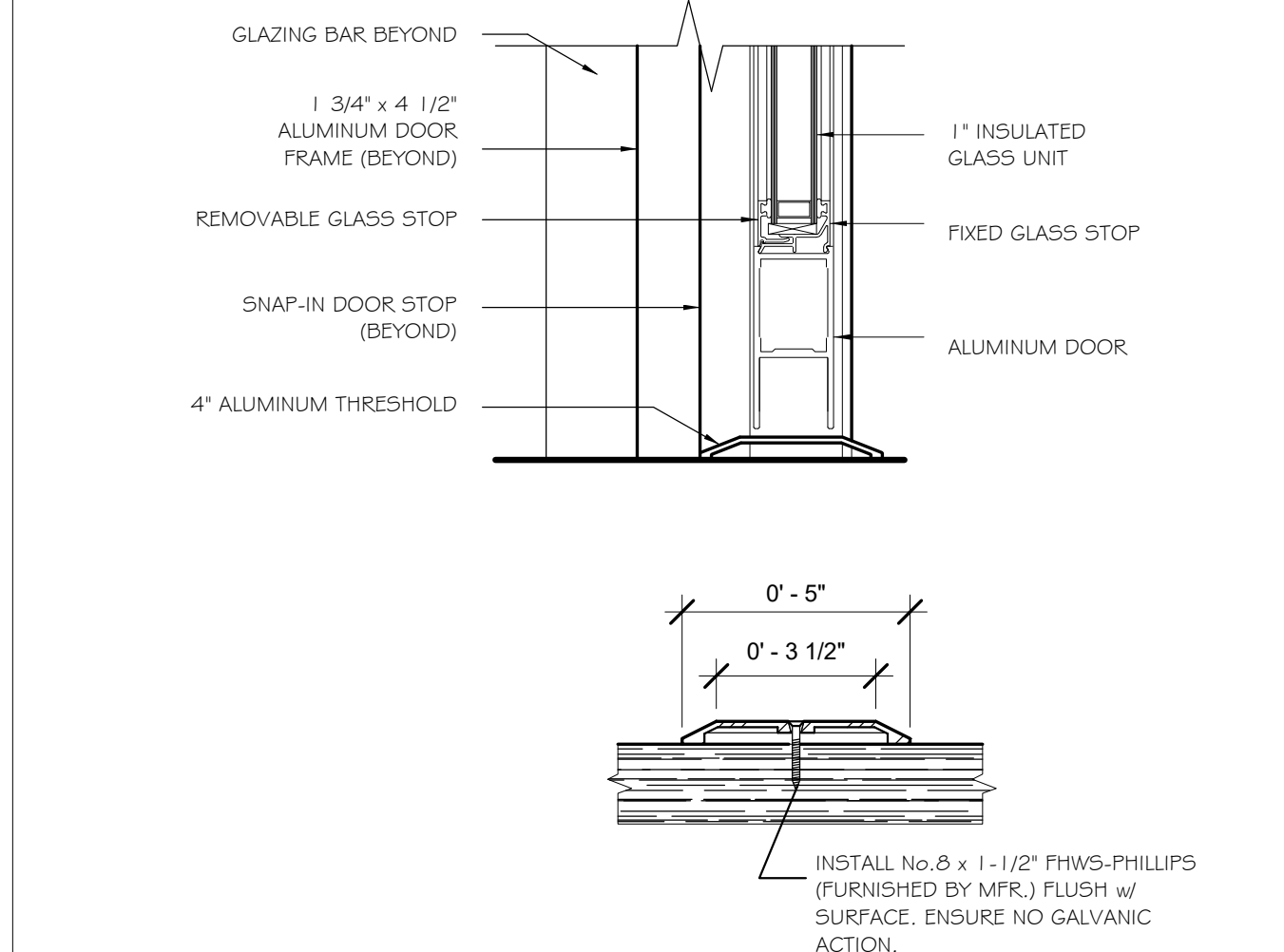
3 WINDOW SILL DETAIL
A-801 Scale: 3"=1'-0"



6 DOOR HEAD DETAIL (METAL FRAME)
A-801 Scale: 3"=1'-0"



9 INTERIOR WOOD FRAME- DOOR THRESHOLD DETAIL
A-801 Scale: 3"=1'-0"



12 THRESHOLD DETAILS
A-801 Scale: 3"=1'-0"

PROJECT NAME
Mystic Ave Residences

PROJECT ADDRESS
654 Mystic Ave.
Somerville, MA

CLIENT
Sun Property Group, Inc.

ARCHITECT
DESIGN KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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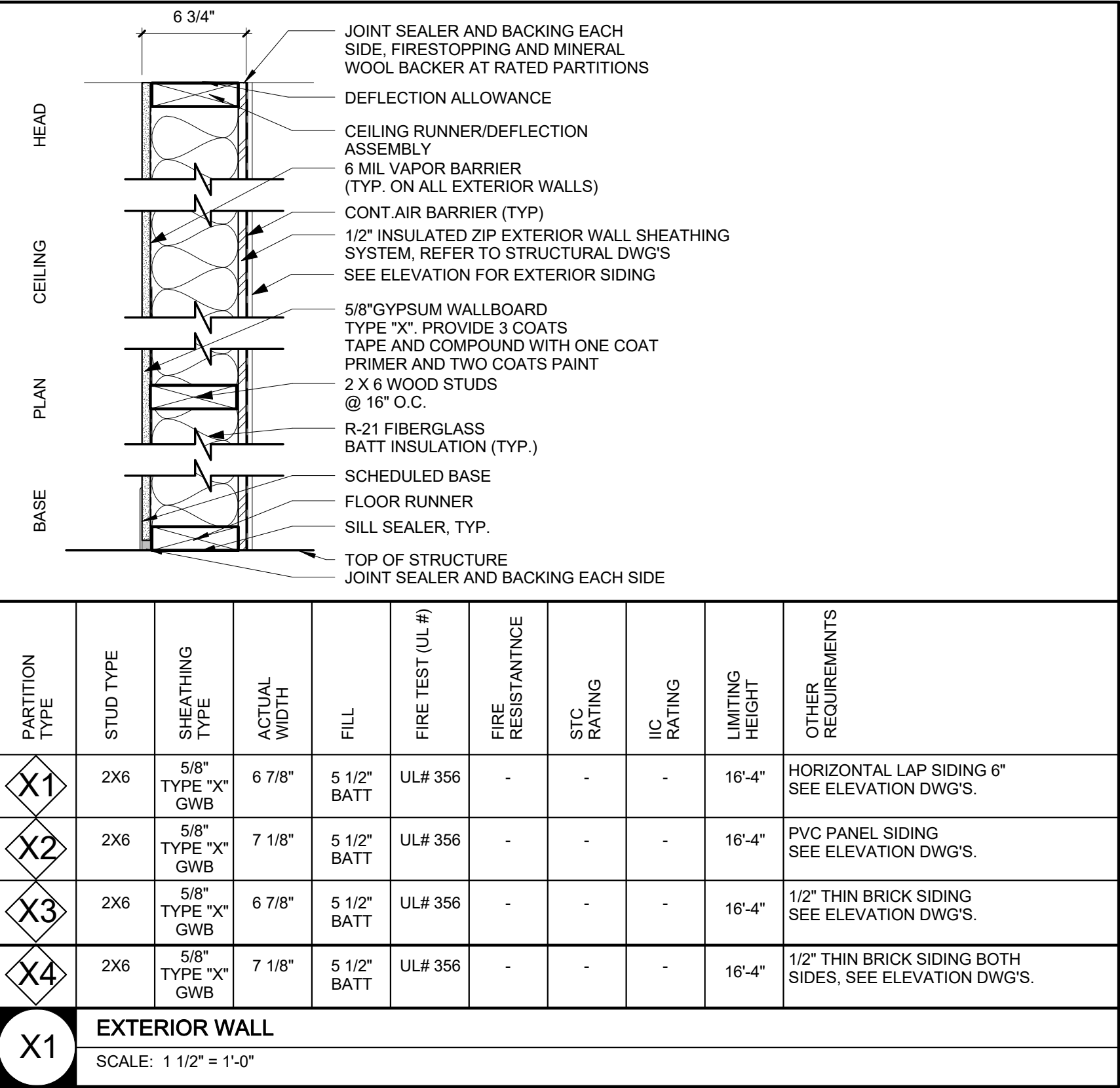
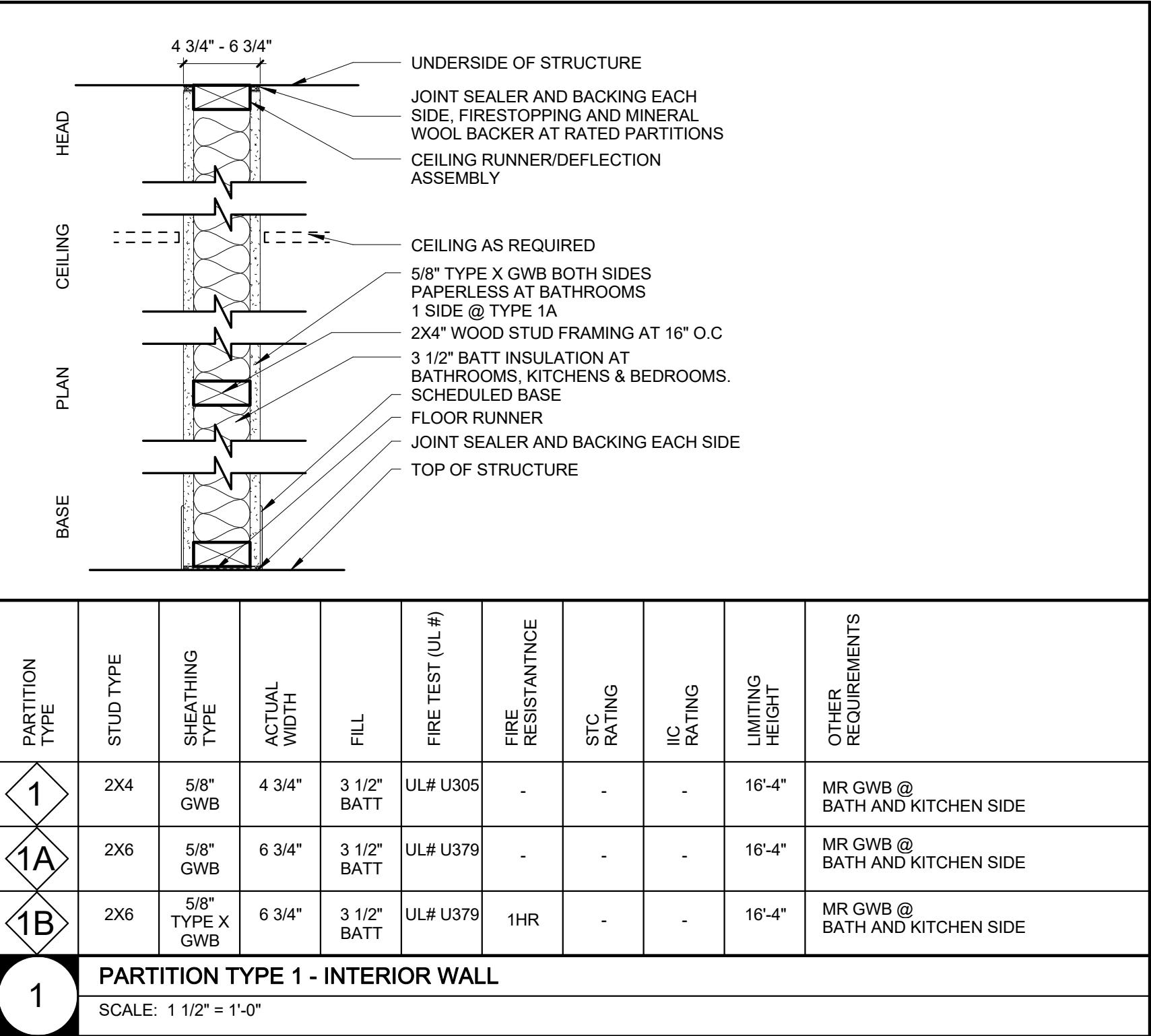
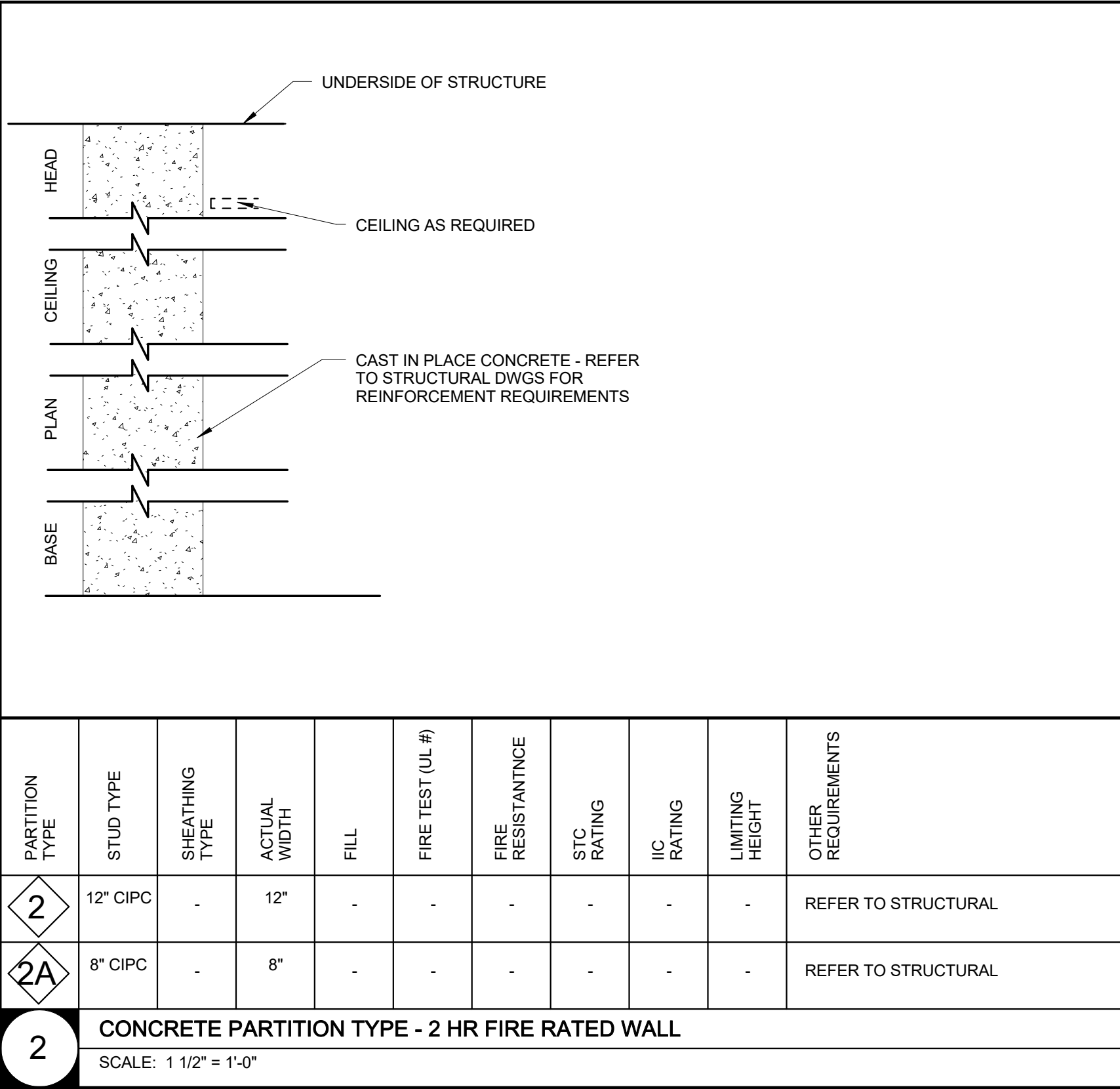
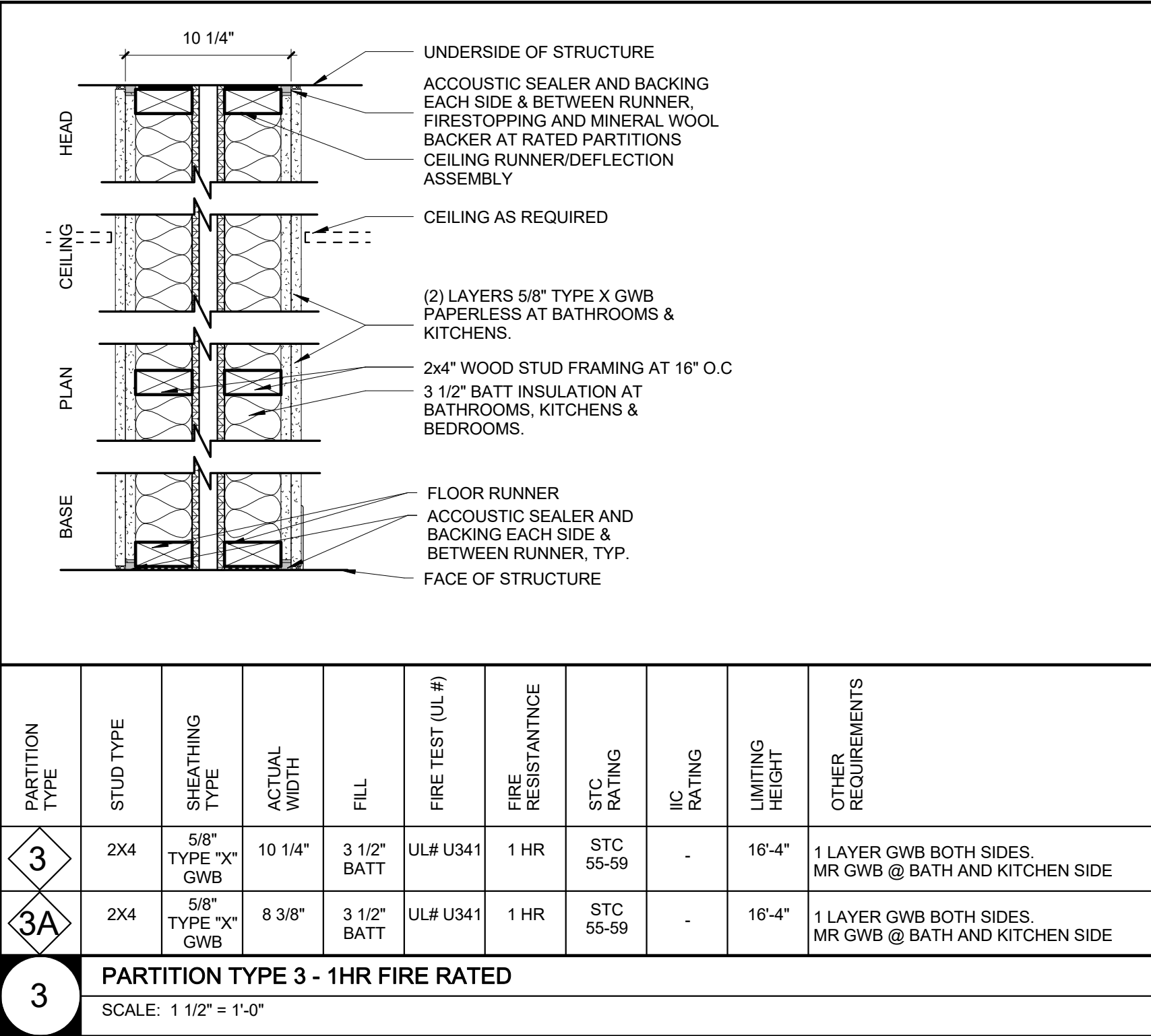
Project number	15106
Date	04-18-2018
Drawn by	RC
Checked by	JSK
Scale	3" = 1'-0"

REVISIONS

No.	Description	Date

Window & Door
Details

A-801
Mystic Ave Residences



PROJECT NAME

Mystic Ave
Residences

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Project number 15106
Date 04-18-2018
Drawn by RC
Checked by JSK
Scale 1 1/2" = 1'-0"

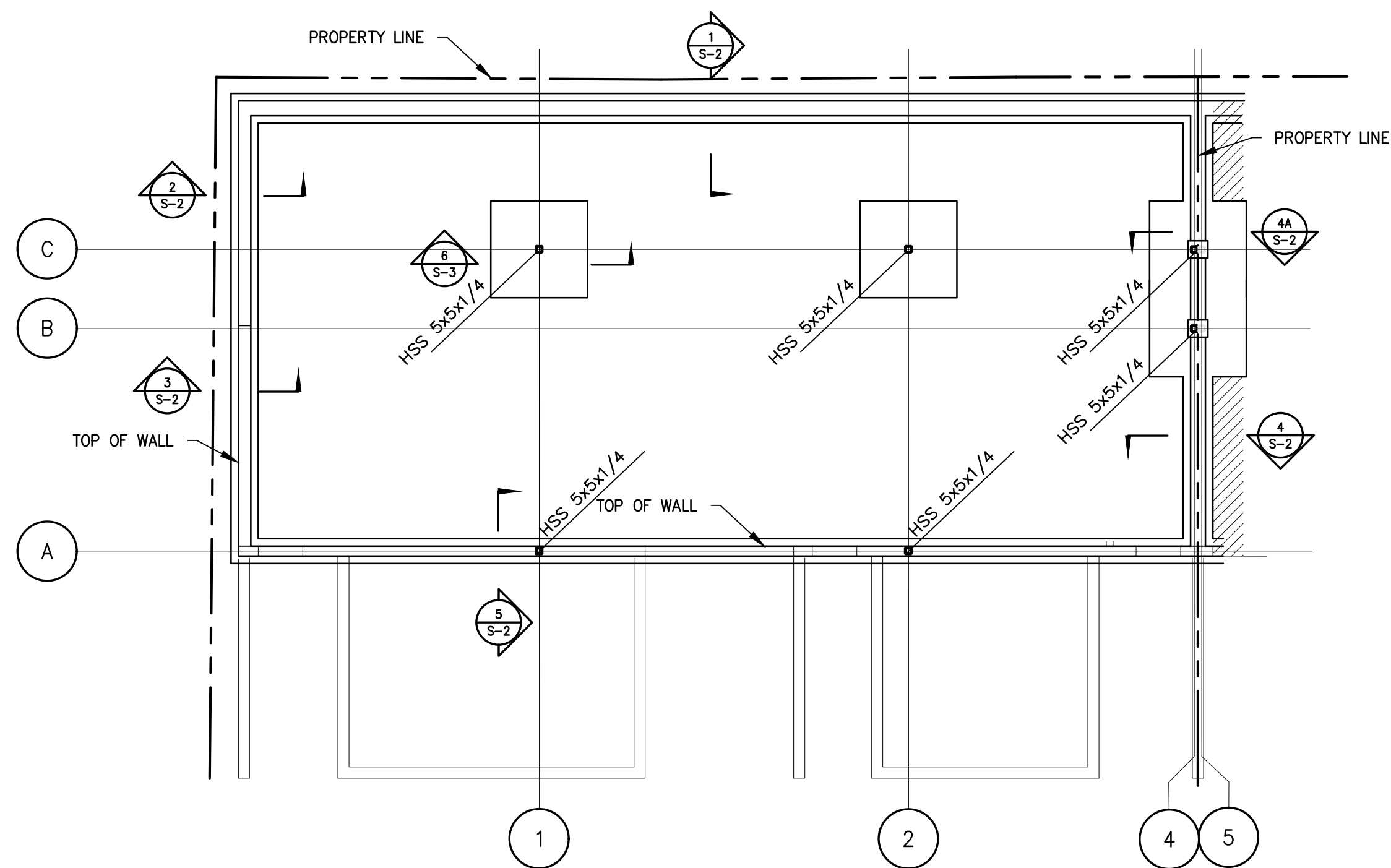
REVISIONS

No.	Description	Date

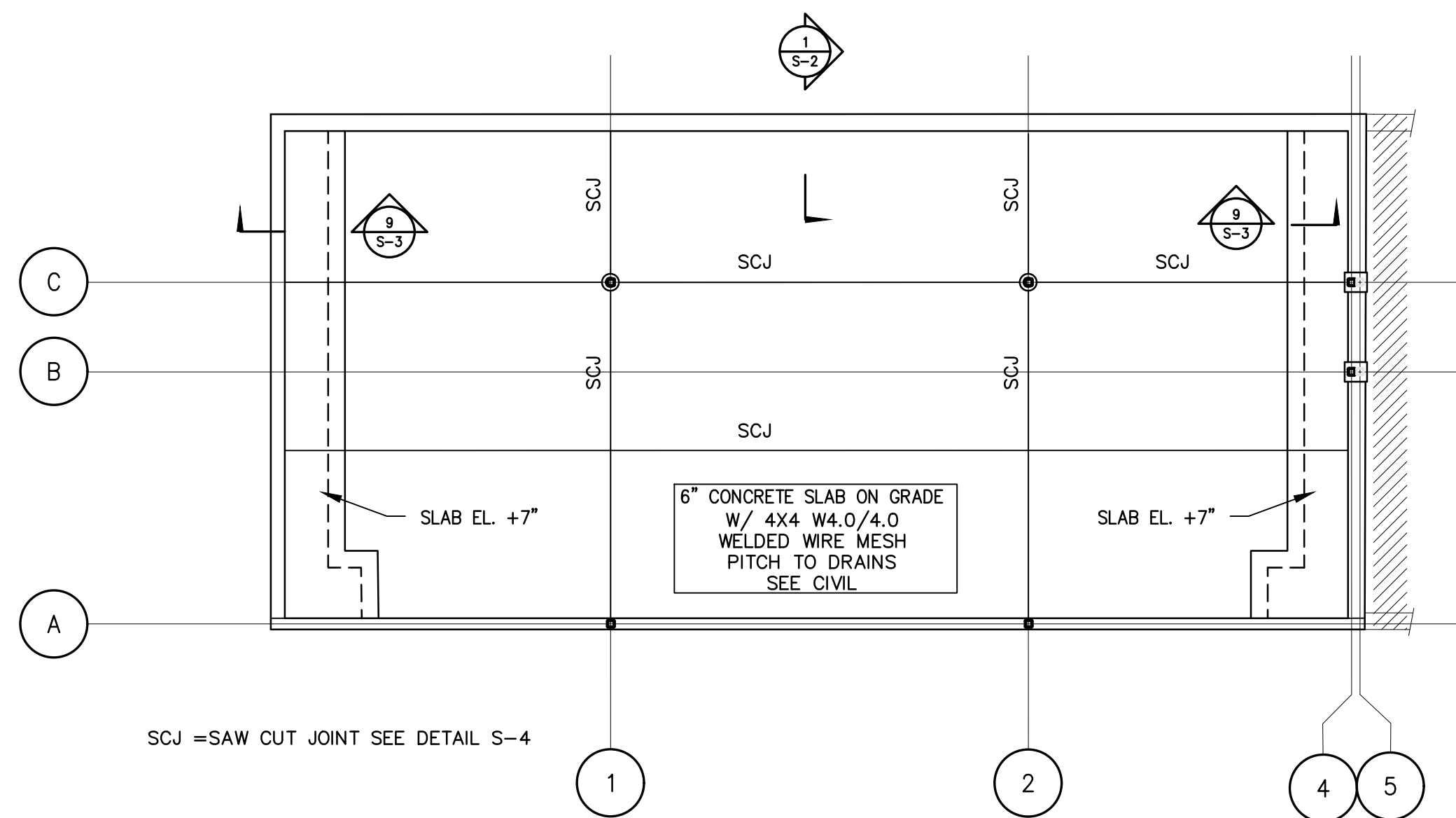
Partition Sheet

A-900

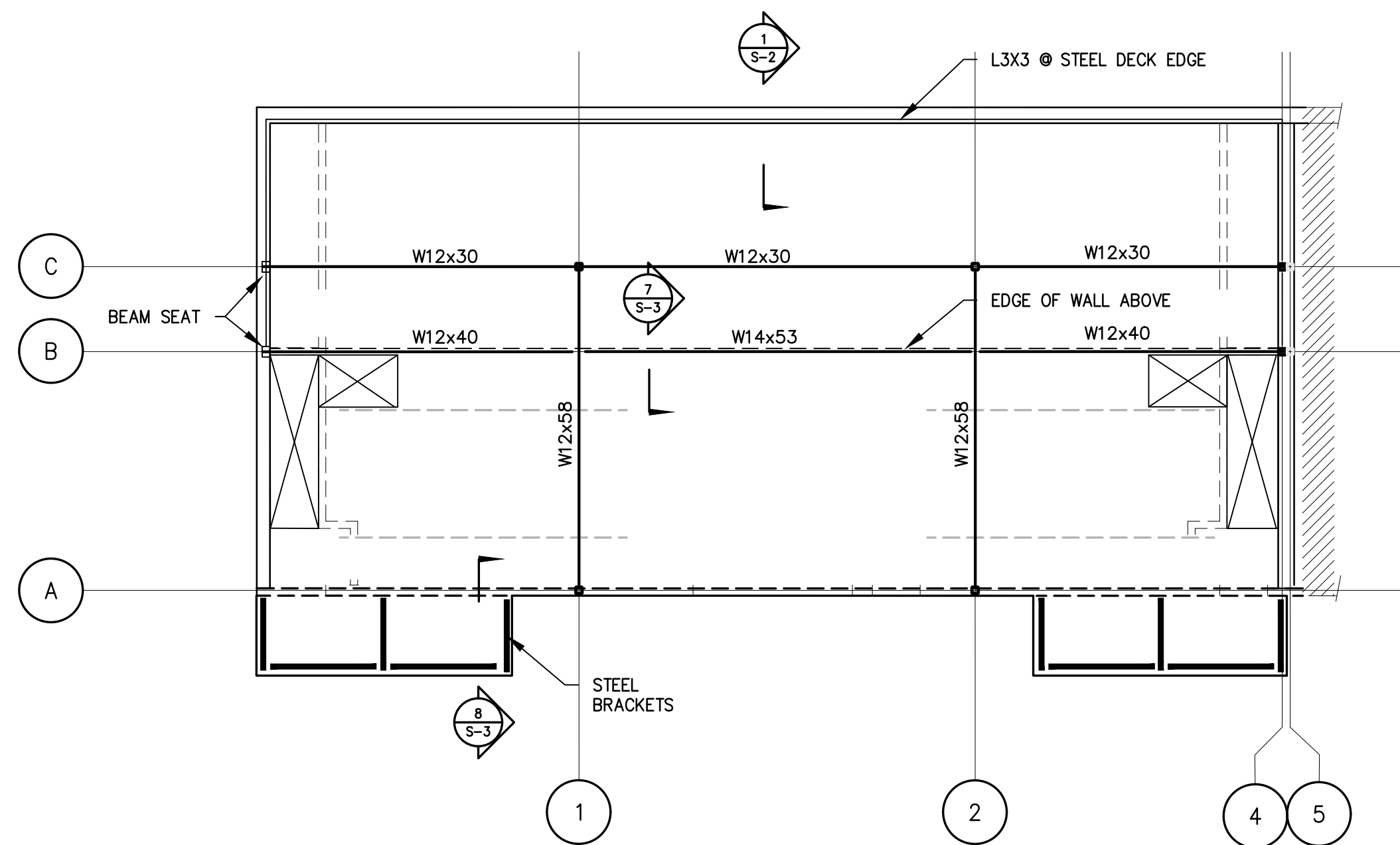
Mystic Ave Residences



FOUNDATION PLAN
SCALE: 1/8"=1'-0"



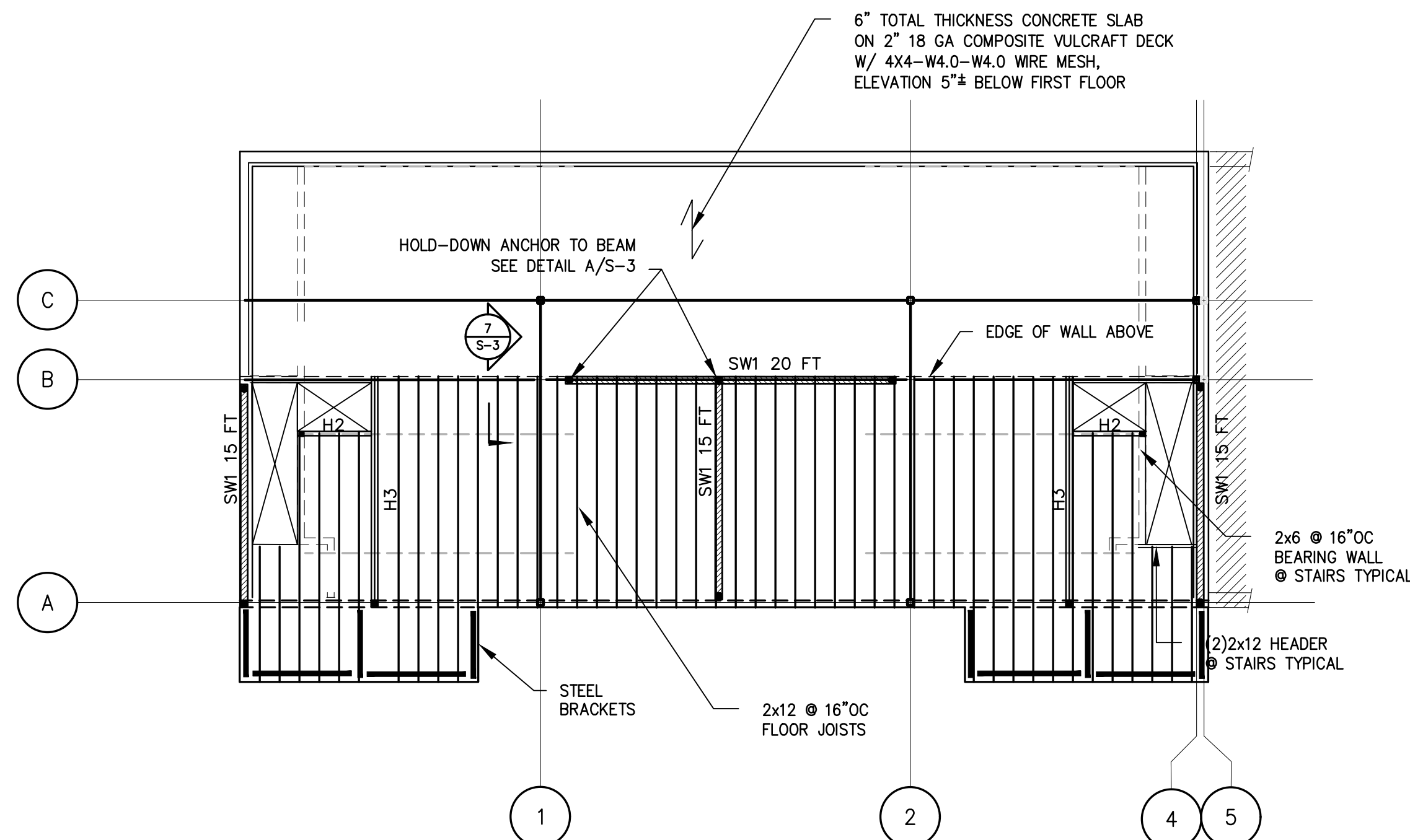
GARAGE FLOOR (LEVEL 1)
SLAB ON GRADE PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR (LEVEL 2) STEEL FRAMING PLAN
SCALE: 1/8"=1'-0"

TOP OF STEEL A-B LINES X=X"
TOP OF STEEL C LINE =(-12")
PUNCH TOP FLANGE OF BEAMS FOR WOOD NAILER

HEADER SCHEDULE	
H1	(3) 1 1/2" x 7 1/2" LVL BEAM, FLUSH FRAMED, 5 1/4" x 5 1/4" LVL POSTS
H2	(2) 1 1/2" x 11 1/8" LVL BEAM, FLUSH FRAMED, 3 1/2" x 3 1/2" LVL POSTS
H3	(3) 1 1/2" x 11 1/8" LVL BEAM, FLUSH FRAMED, 5 1/4" x 5 1/4" LVL POSTS
H4	(3) 1 1/2" x 14" LVL BEAM, FLUSH FRAMED, 5 1/4" x 5 1/4" LVL POSTS
H5	(3) 1 1/2" x 16" LVL BEAM, FLUSH FRAMED, 5 1/4" x 5 1/4" LVL POSTS



FIRST FLOOR (LEVEL 2) WOOD FRAMING PLAN
SCALE: 1/8"=1'-0"

== = NEW PARTITIONS FOOR BELOW
SHOWN THUS

EDGE NAILING OF SHEAR WALLS
SW1 10dx3" LONG @ 4" OC
SW2 8dx2 1/2" LONG @ 6" OC

SHEAR WALL SW# FROM FLOOR TO FLOOR ABOVE
SEE SCHEDULE & DETAILS
• DENOTES LOCATION OF HOLD-DOWN ANCHOR

CLIENT:
EL CAMINO LLC

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BOMBARDIER
STRUCTURAL ENGINEERING

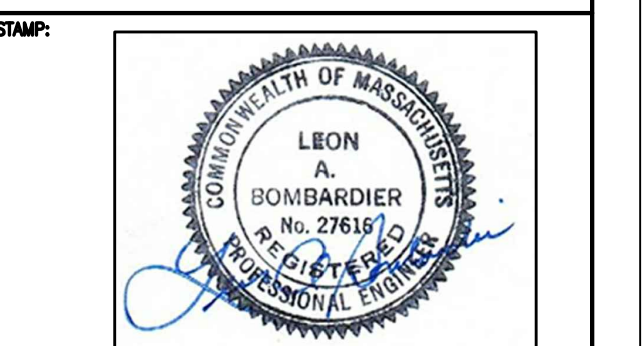
#	REVISIONS	DATE

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PROJECT:
RESIDENCES
654 MYSTIC AVENUE
SOMERVILLE, MA

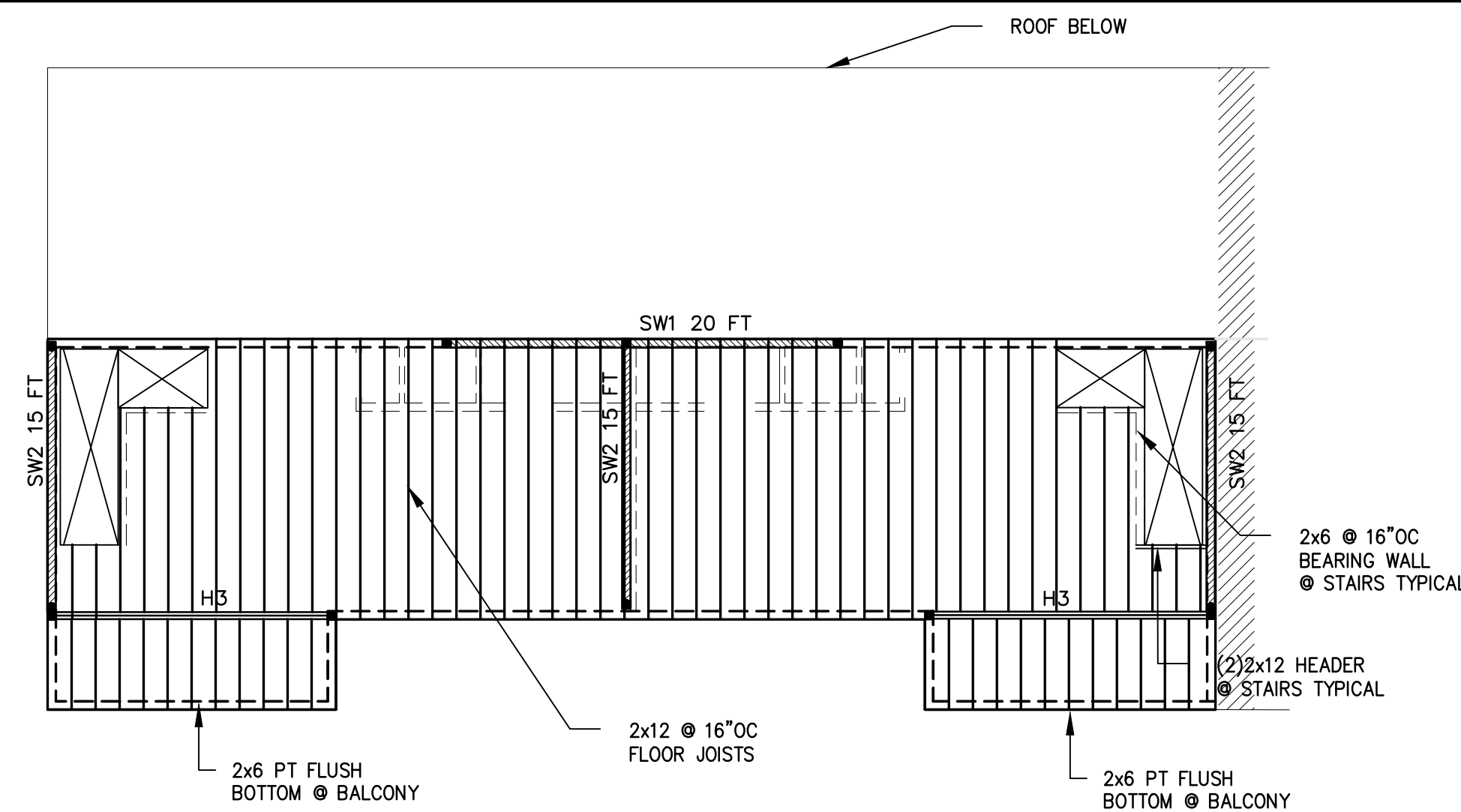
DRAWING TITLE:
**BASEMENT
& FLOOR FRAMING
PLANS & DETAILS**



APRIL 14, 2018

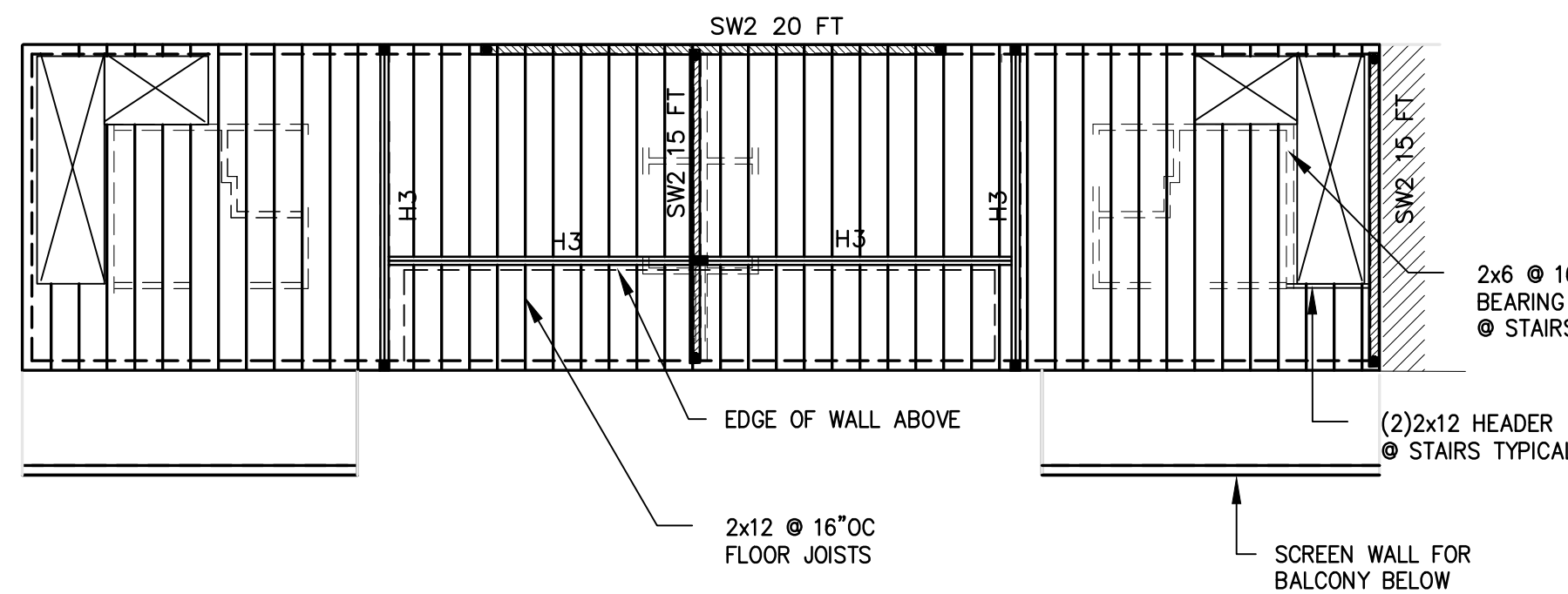
SCALE:
AS NOTED
DATE:
4/14/2018
DRAWN BY:
LAB
CHECKED BY:
LAB
PROJECT #:
2017-46

S-1



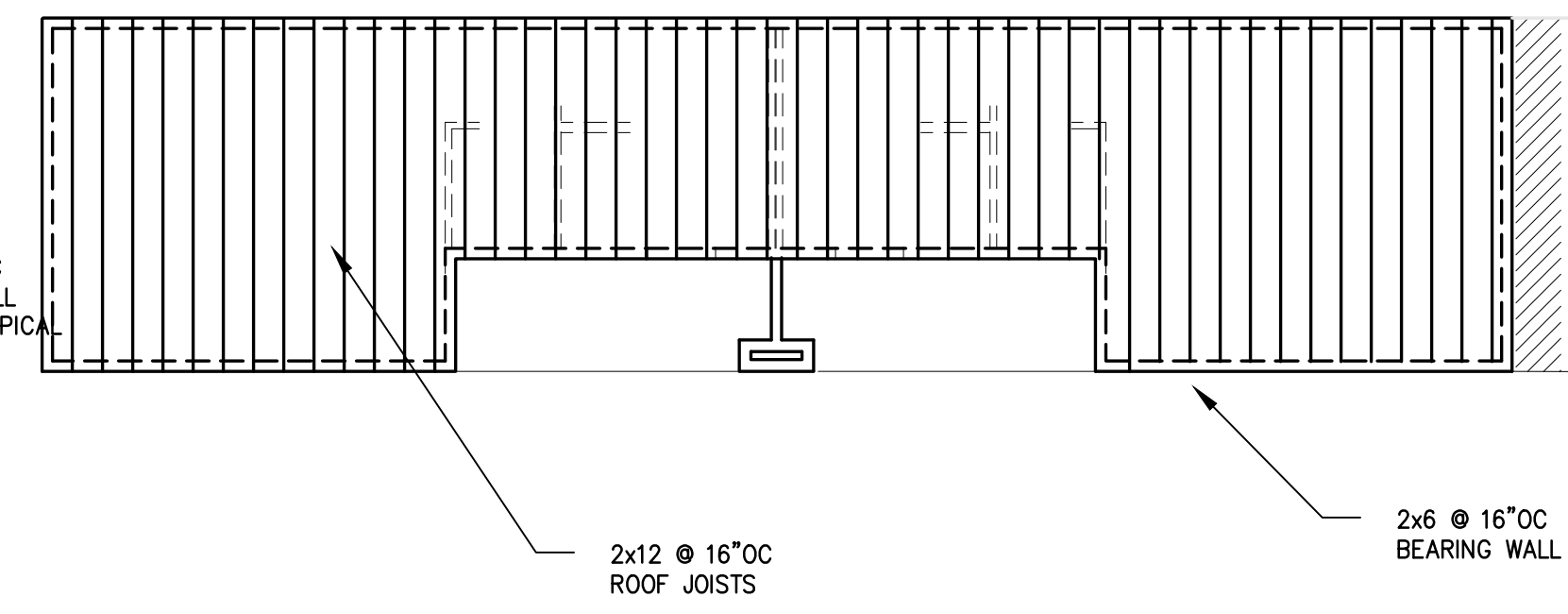
SECOND FLOOR (LEVEL 3) WOOD FRAMING PLAN
SCALE: 1/8"=1'-0"

EDGE NAILING OF SHEAR WALLS
SW1 10d x 3" LONG @ 4" OC
SW2 8d x 2 1/2" LONG @ 6" OC

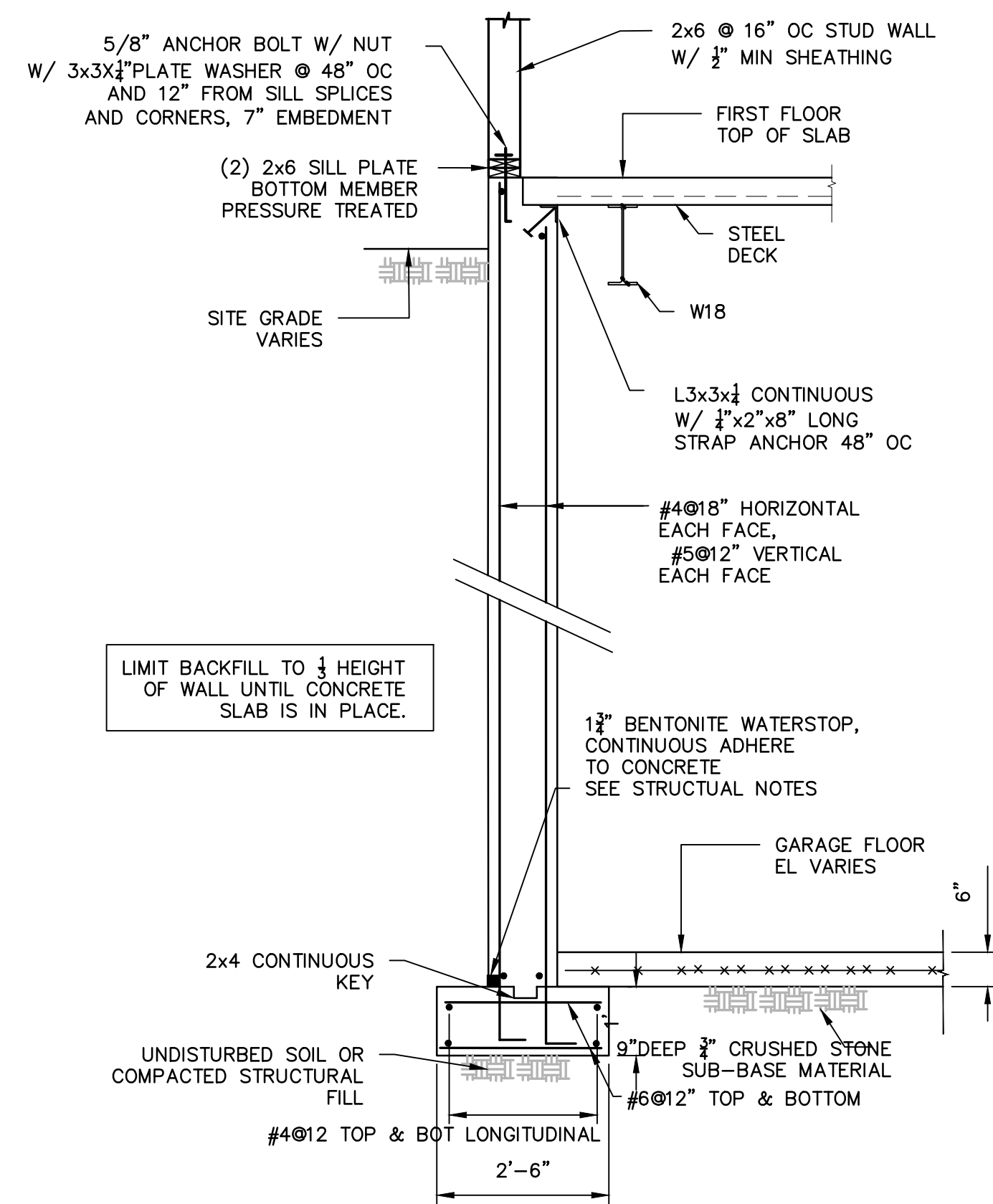


THIRD FLOOR (LEVEL 4) WOOD FRAMING PLAN
SCALE: 1/8"=1'-0"

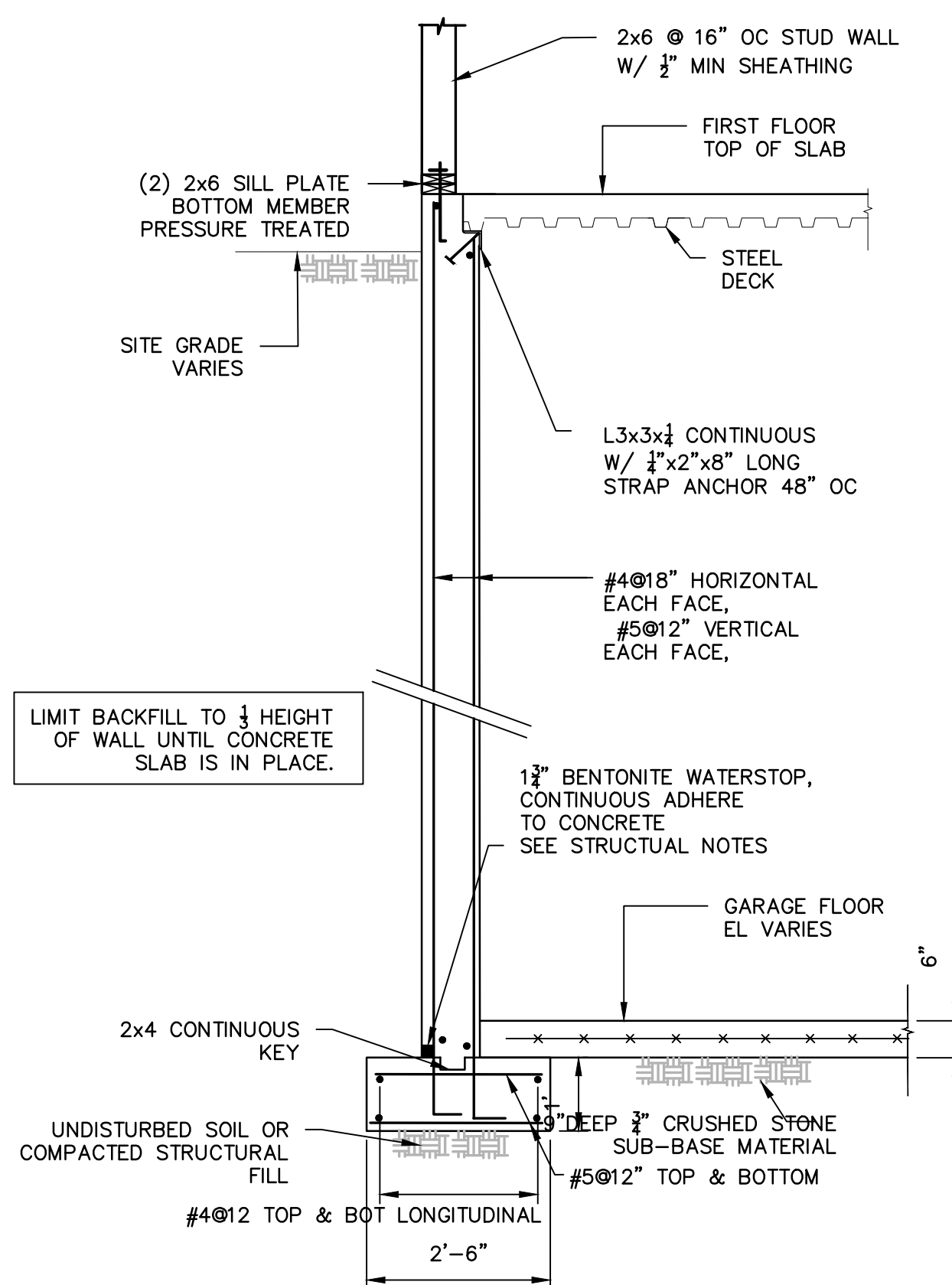
HORIZONTAL FLOOR DIAPHRAGMS
3/4" TONGUE AND GROOVE PLYWOOD
W/ 10d NAILS @ 4" ON CENTERS



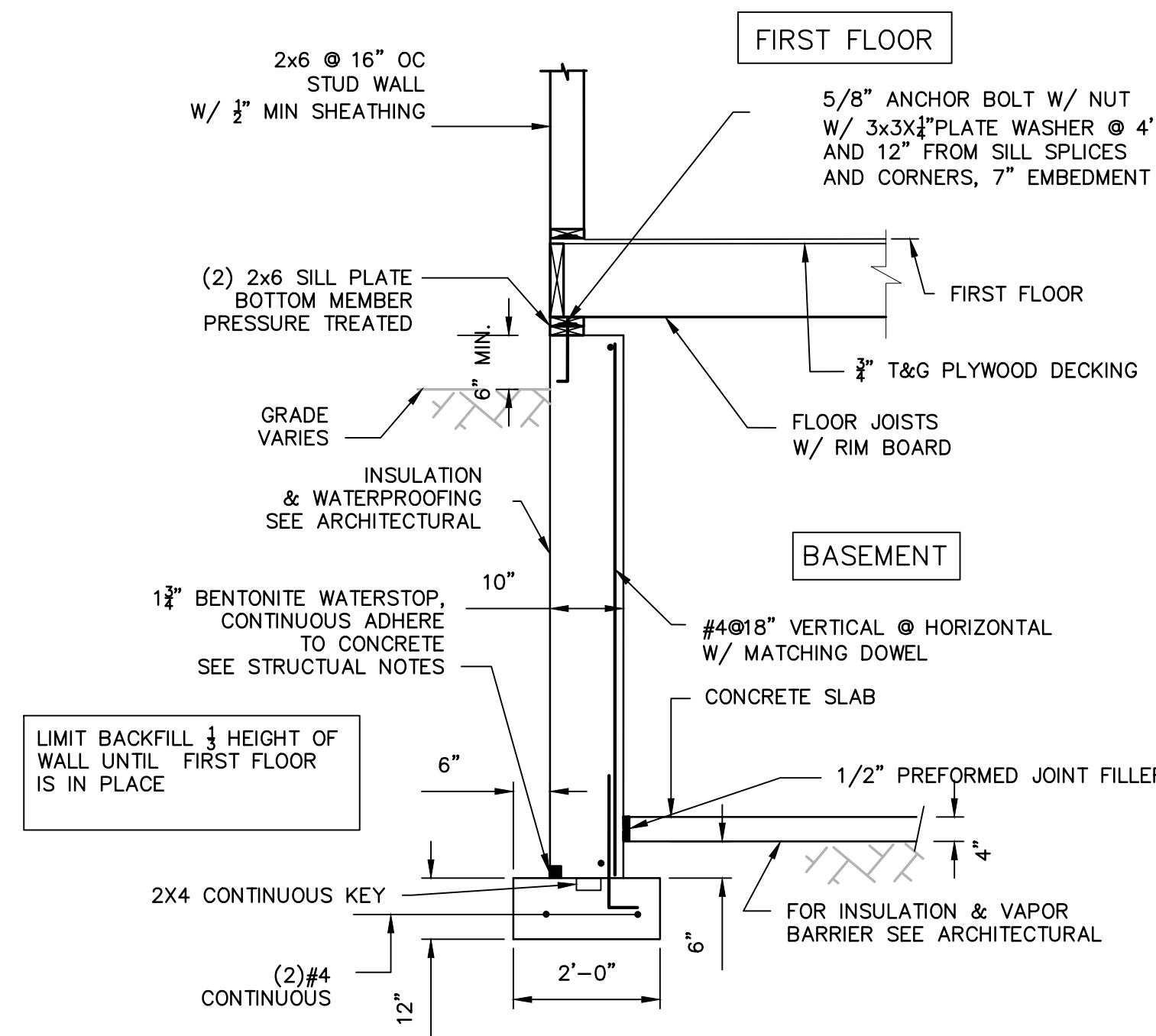
ROOF WOOD FRAMING PLAN
SCALE: 1/8"=1'-0"



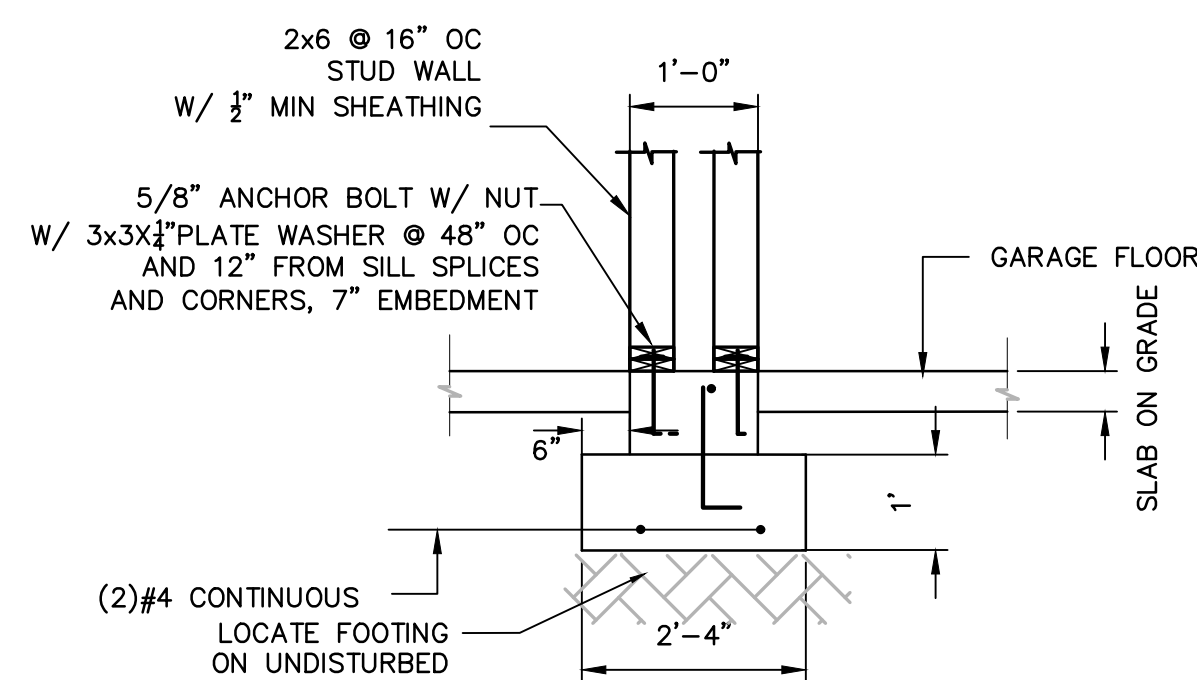
SECTION 1 - GARAGE FOUNDATION WALL
SCALE: 1/2"=1'-0"



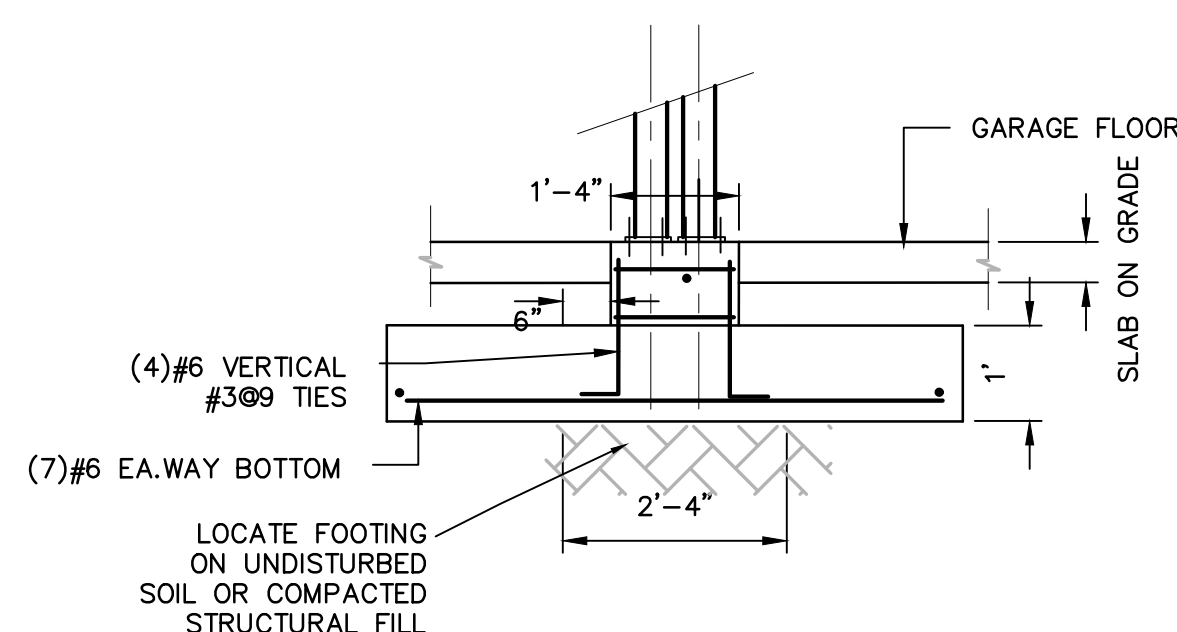
SECTION 2 - GARAGE FOUNDATION WALL
SCALE: 1/2"=1'-0"



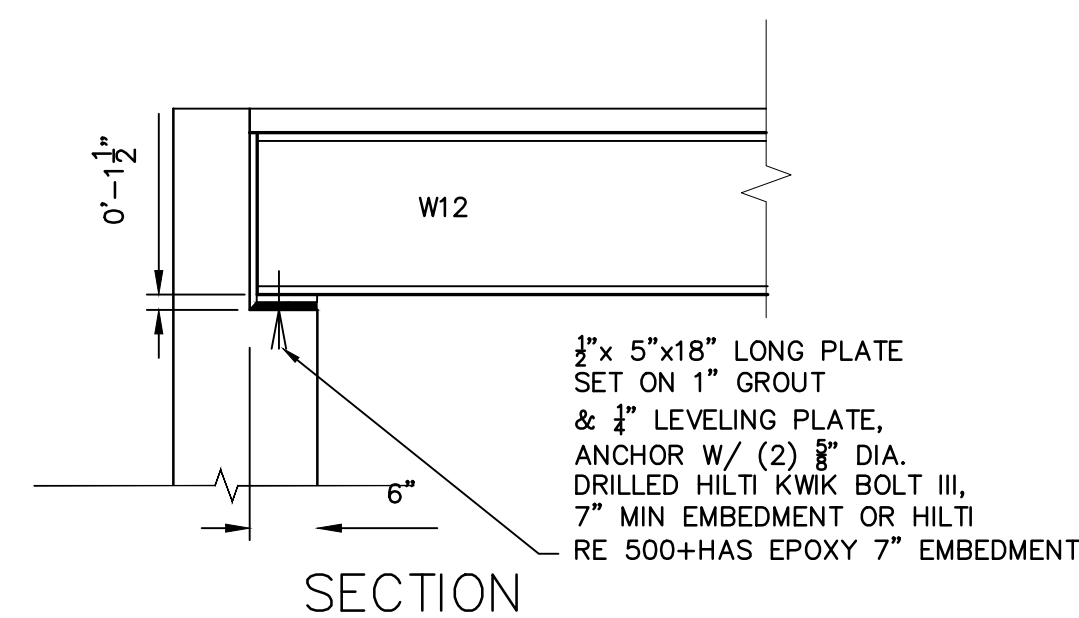
SECTION 3 - GARAGE FOUNDATION WALL
SCALE: 1/2"=1'-0"



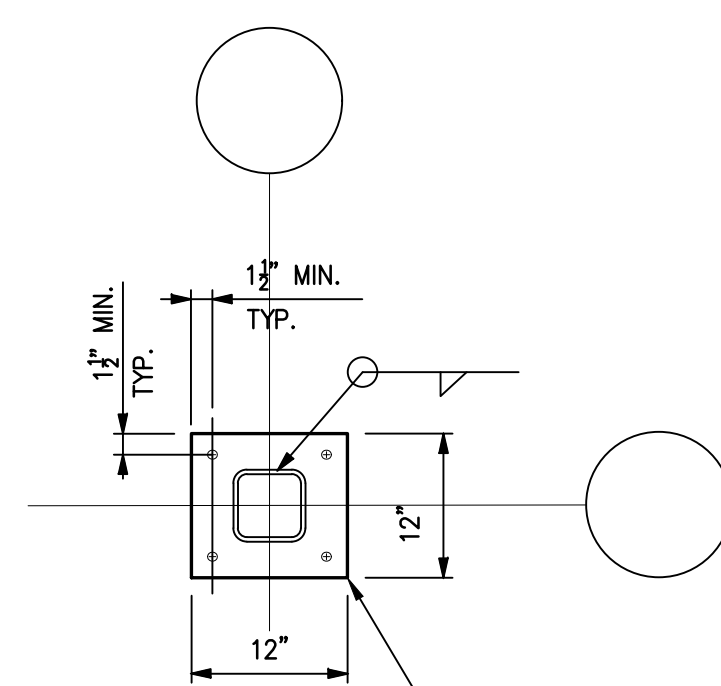
SECTION 4 - INTERIOR
GRADE WALL
SCALE: 1/2"=1'-0"



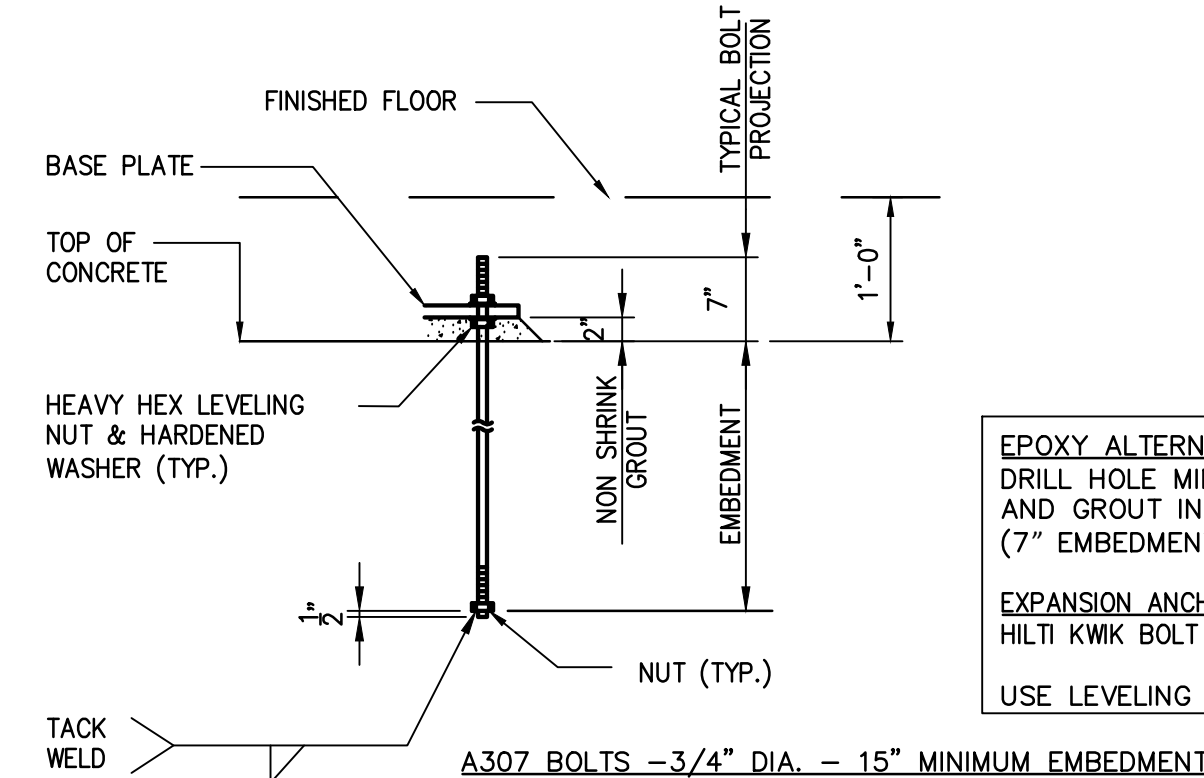
SECTION 4A - COLUMN PIER
@ INTERIOR GRADE WALL
SCALE: 1/2"=1'-0"



BEAM SEAT DETAIL
SCALE: 1/2"=1'-0"

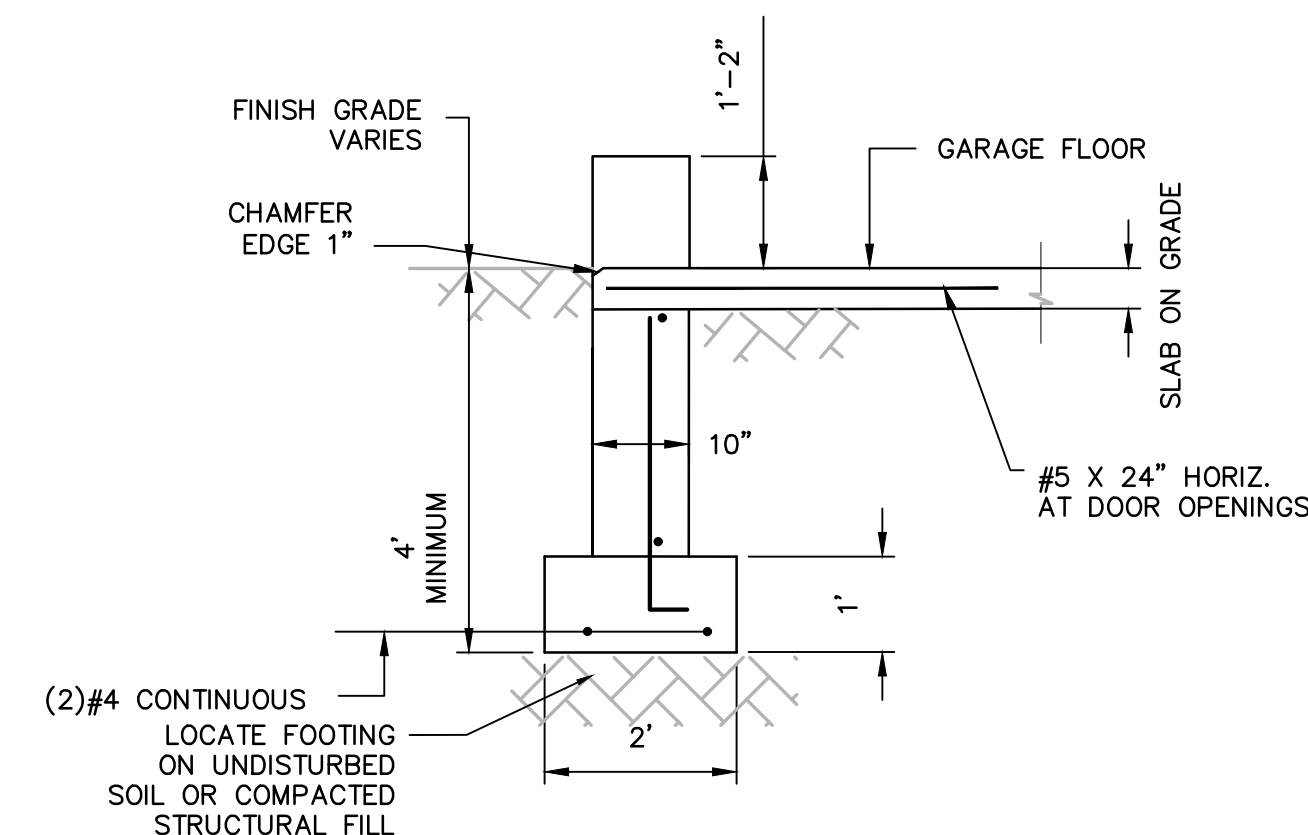


INTERIOR HSS 6X6 COLUMNS
BASE PLATE DETAIL A
SCALE: 1/2"=1'-0"



COLUMN ANCHOR BOLTS DETAIL B
SCALE: 1/2"=1'-0"

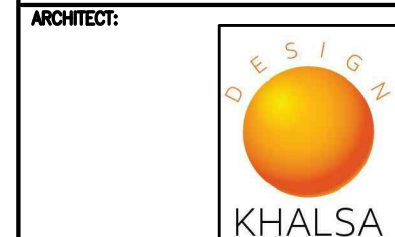
EPOXY ALTERNATE:
DRILL HOLE MIN. 7" EMBEDMENT
AND GROUT IN BOLT WITH "HILTI RE-500 + HAS
(7" EMBEDMENT + 7" PROJECTION=14" TOTAL LENGTH)
EXPANSION ANCHOR ALTERNATE:
HILTI KWIK BOLT III, W/8" EMBEDMENT
USE LEVELING NUTS AND GROUT BASE PLATE SOLID



SECTION 5 - GRADE WALL
@ DOOR OPENINGS
SCALE: 1/2"=1'-0"

CLIENT:
EL CAMINO LLC

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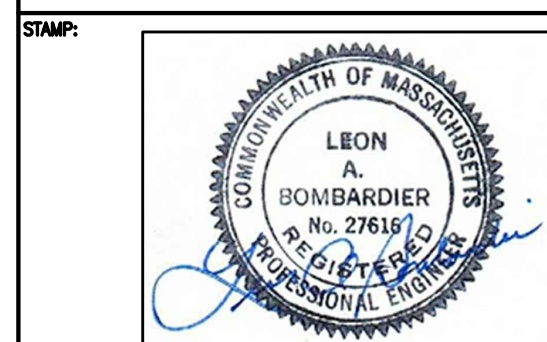
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STRUCTURAL ENGINEERING

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131 LINCOLN STREET
ABINGTON, MA 02351

email: bae05@verizon.net
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PROJECT:
RESIDENCES
654 MYSTIC AVENUE
SOMERVILLE, MA

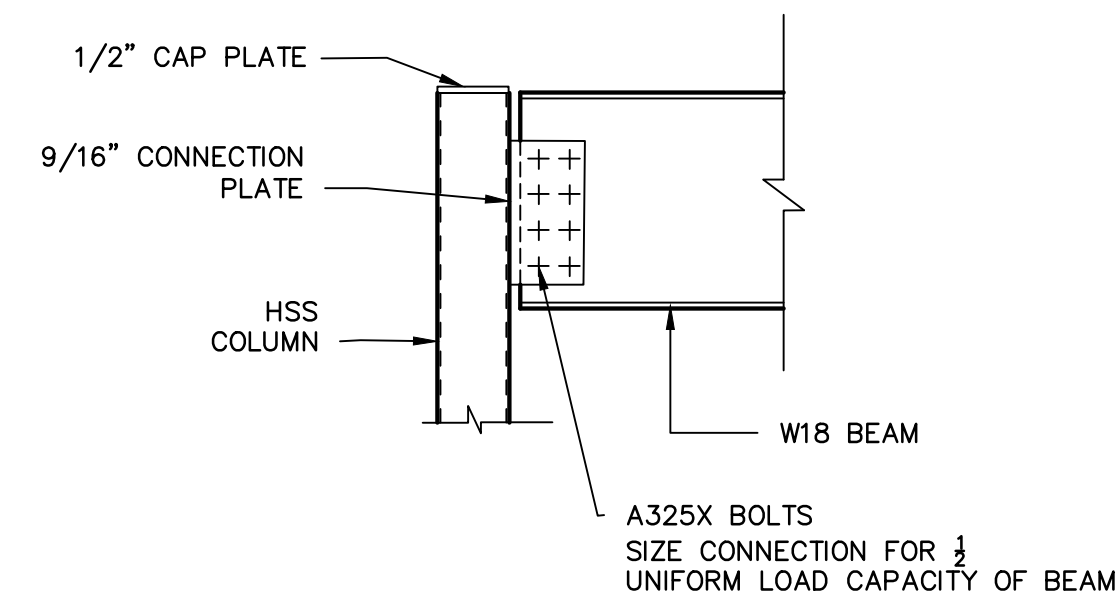
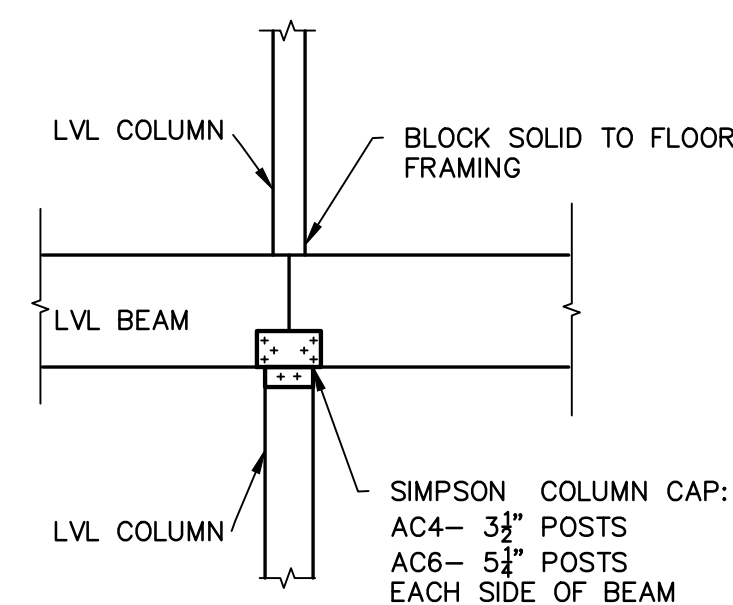
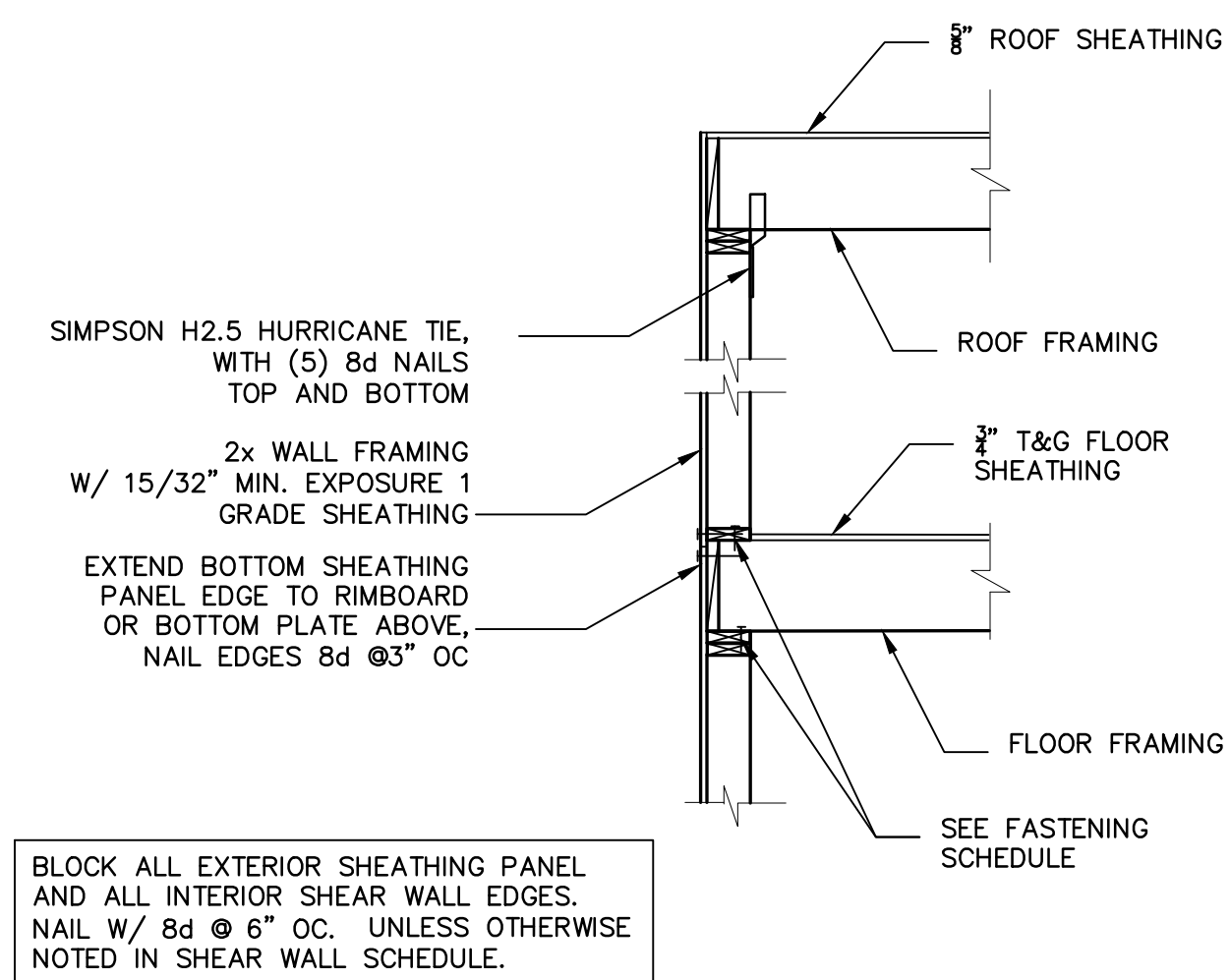
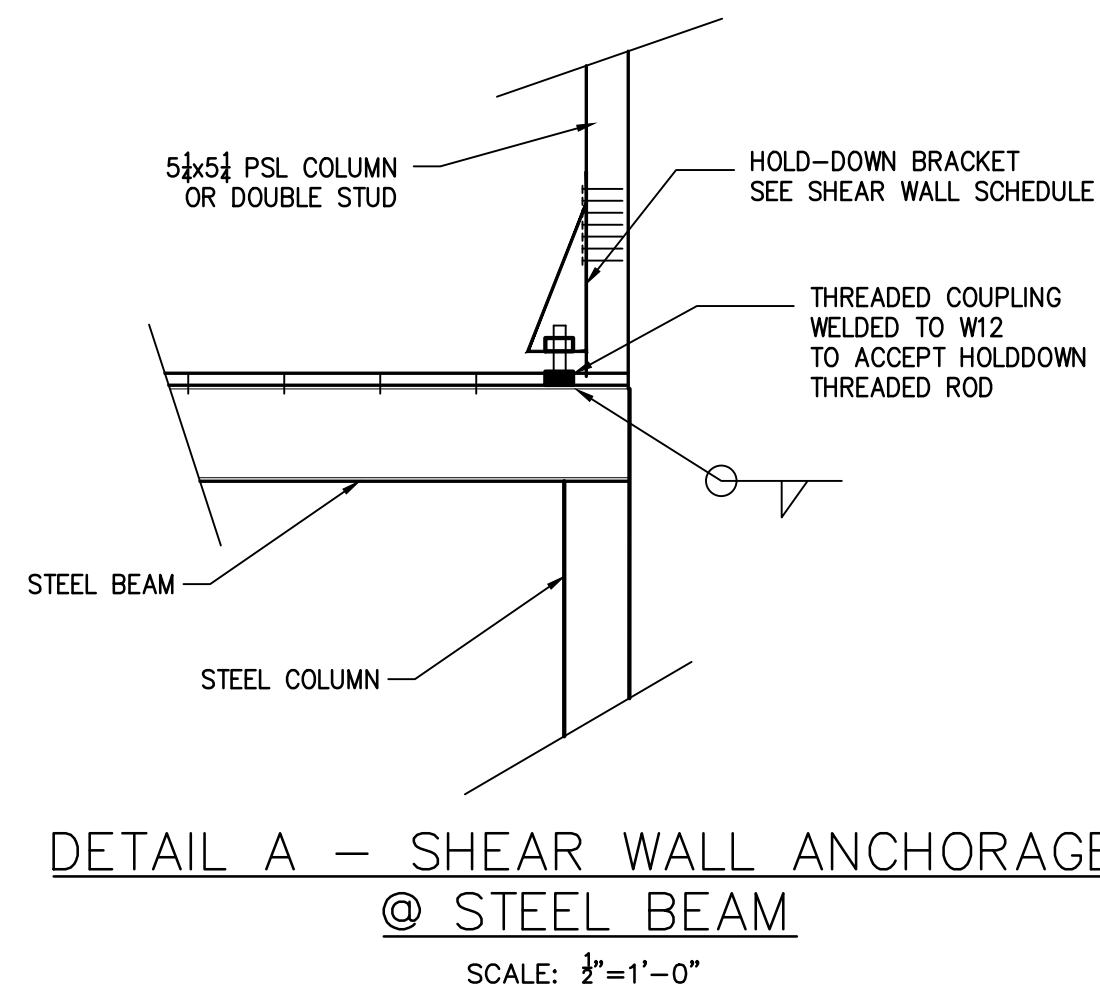
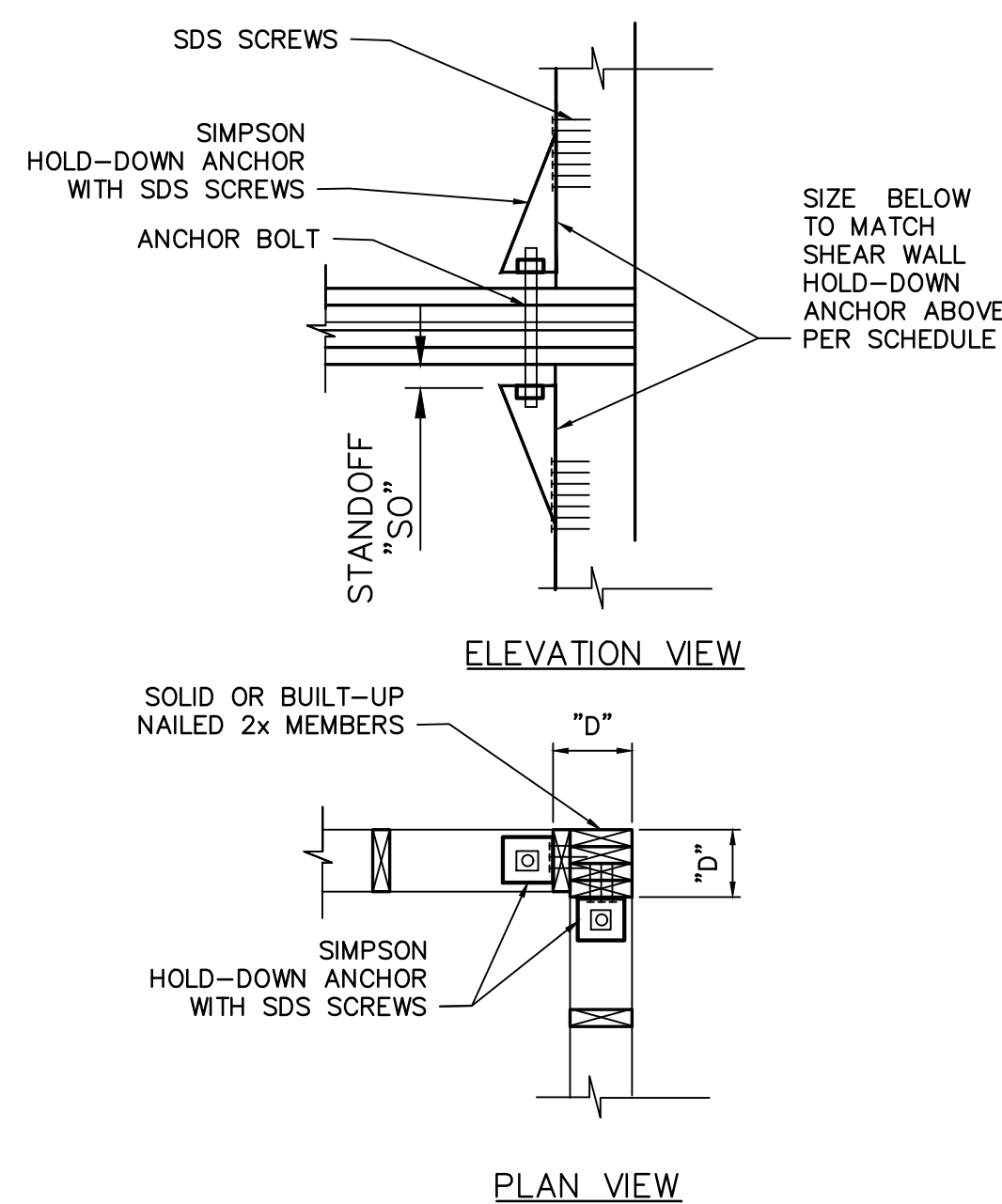
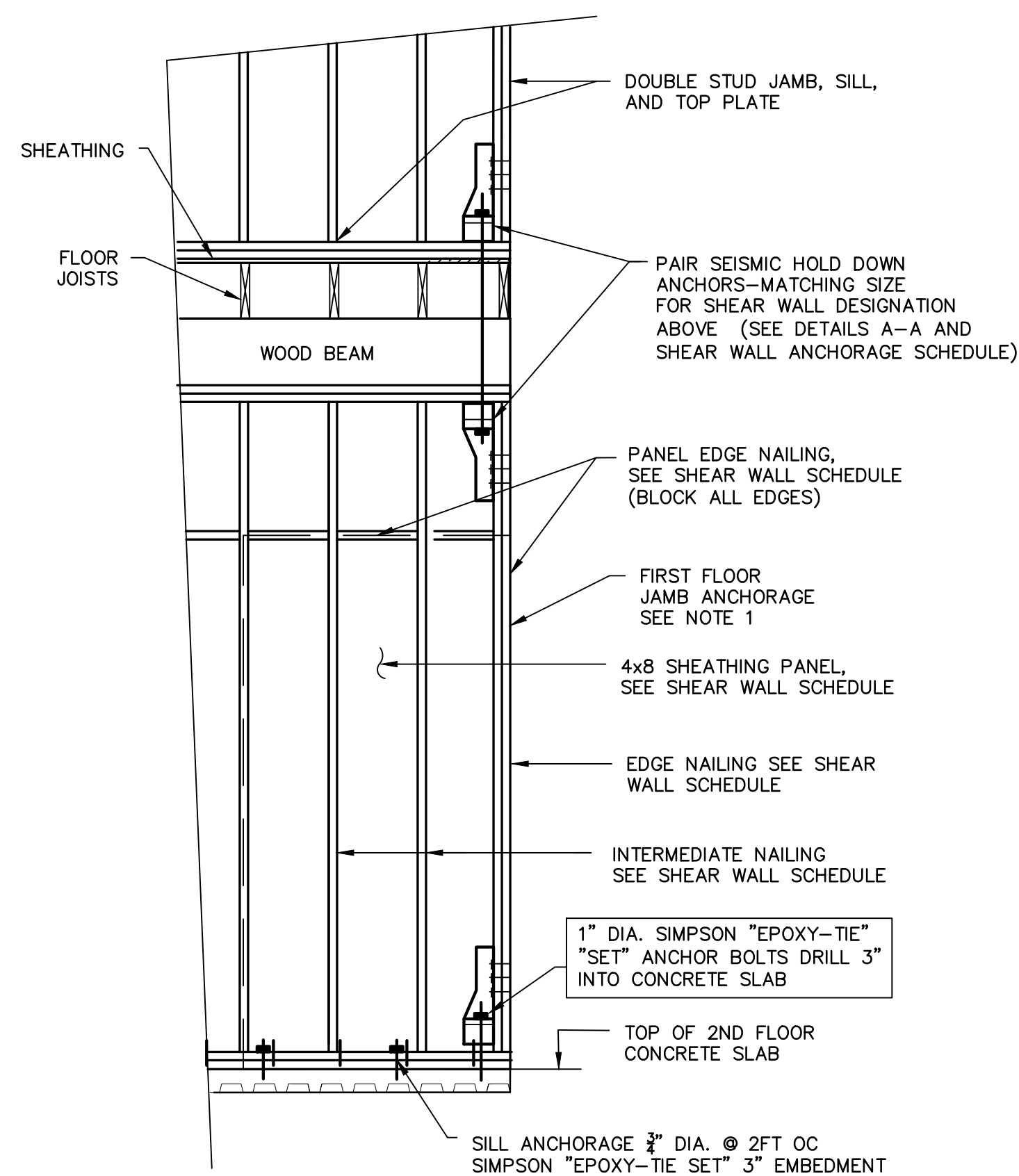
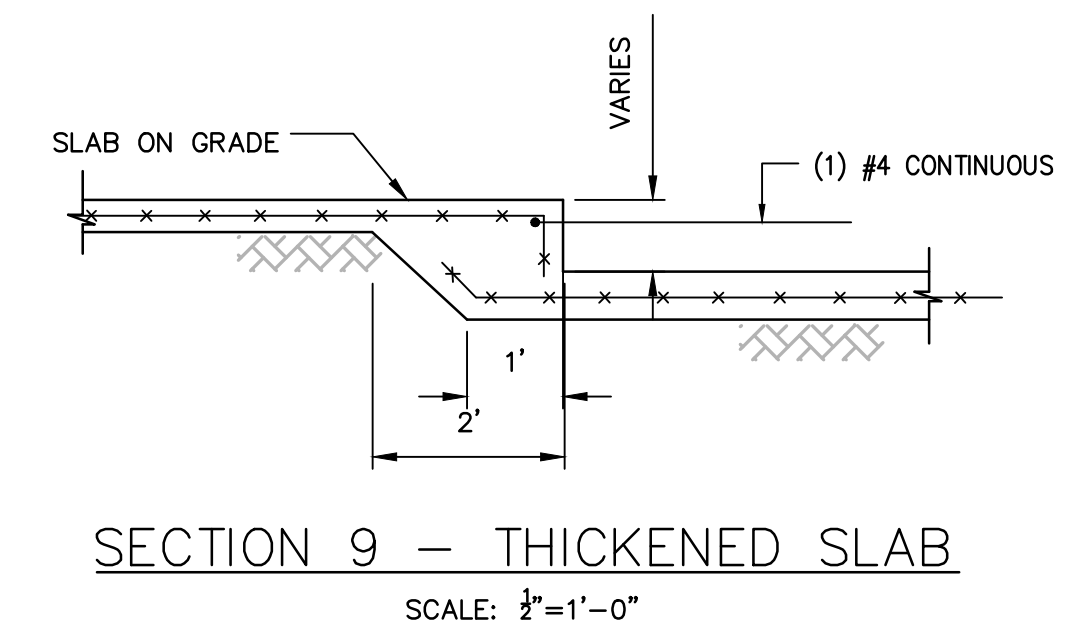
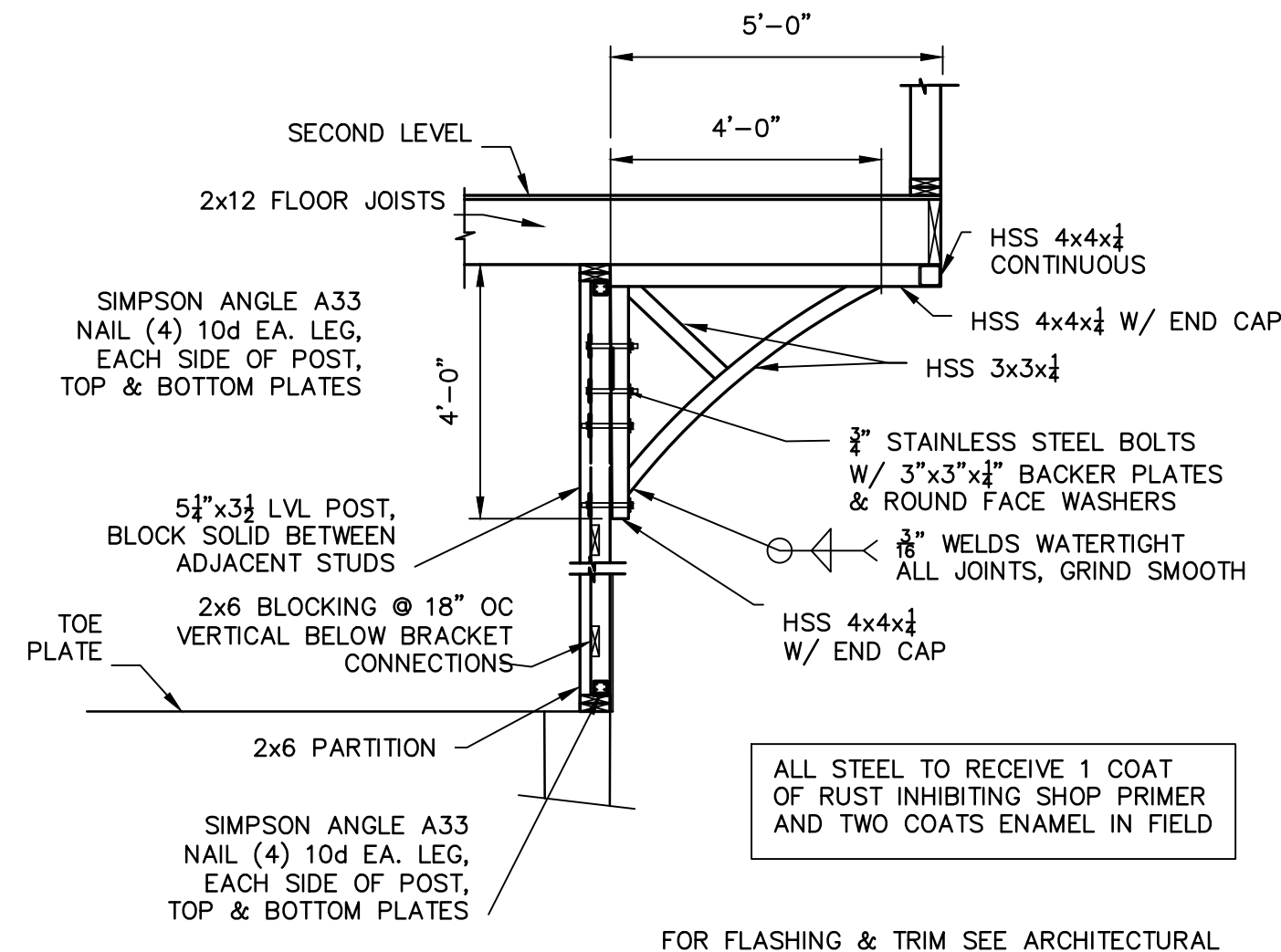
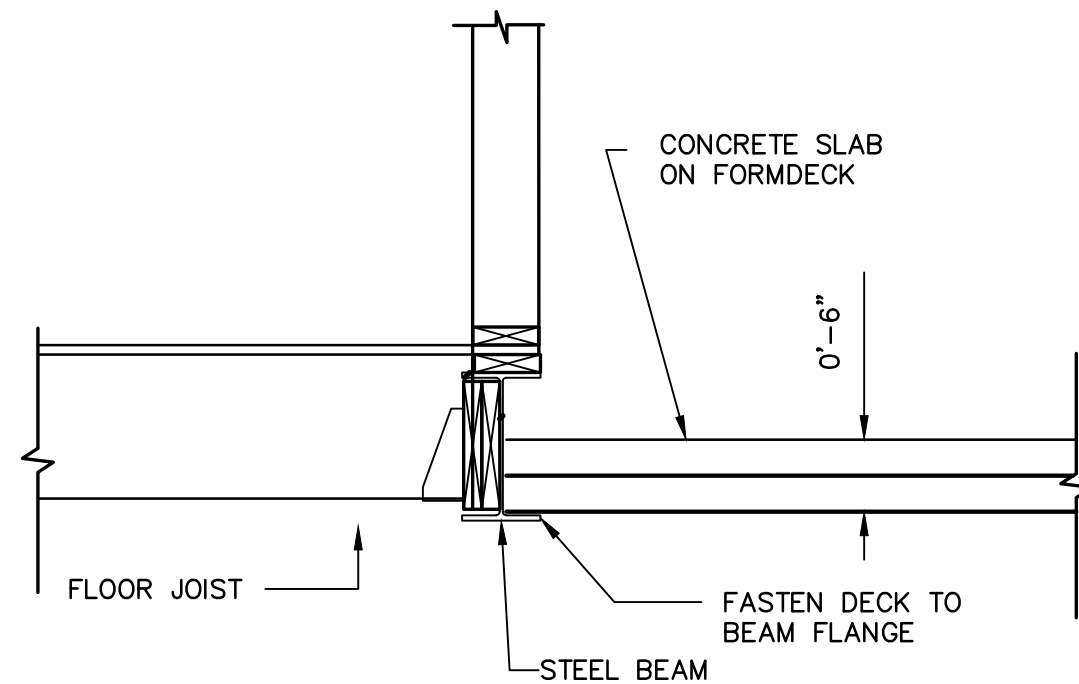
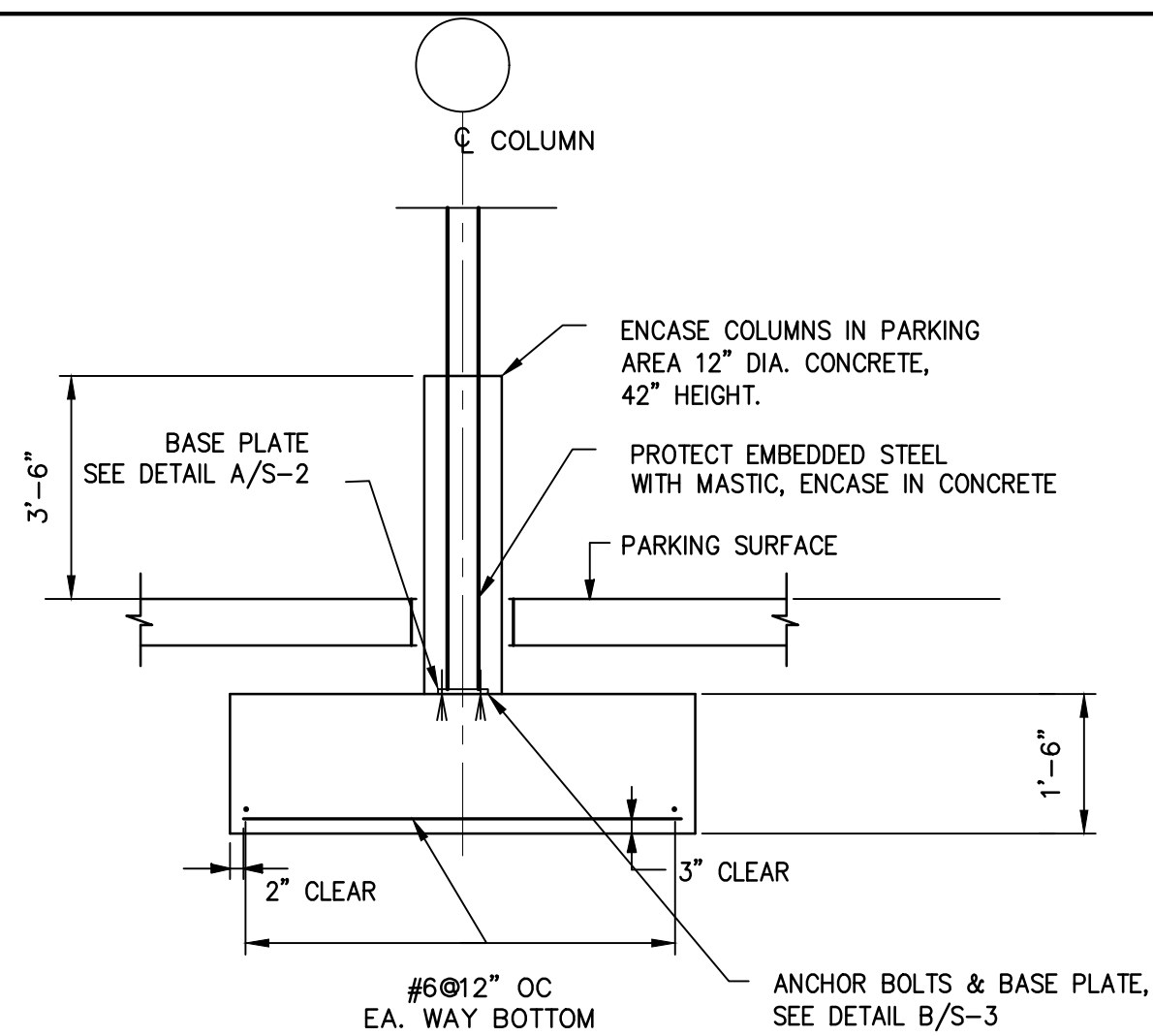
DRAWING TITLE:
SECOND, THIRD
& ROOF FRAMING
PLANS & DETAILS



APRIL 14, 2018

SCALE:
AS NOTED
DATE:
4/14/2018
DRAWN BY:
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CHECKED BY:
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PROJECT #:
2017-46

S-2



SHEAR WALL ANCHORAGE SCHEDULE

TYPE	SIMPSON ANCHOR	ANCHOR BOLT	"D"	"SO"	SDS SCREWS	SHEATHING*	NAILING **	HOLD-DOWN CAPACITY
SW1	HDU11 SDS2.5	1" DIA.	5 1/2"	1 1/2"	30 SDS X 1/4"X2 1/2"	1/2"PLYW'D	10dx3" LONG@ 4"OC EDGES	6,685 POUNDS
SW2	HDU5 SDS2.5	3/8" DIA.	3"	1 3/8"	14 SDS X 1/4"X2 1/2"	1/2"PLYW'D	8dx2 1/2" LONG@ 6"OC EDGES	4,065 POUNDS

- * SHEATHING ONE SIDE OF WALL UNLESS OTHERWISE NOTED
 ** SHEATHING BOTH SIDES OF WALL
 *** ALL SHEATHING EDGES SHALL BE BLOCKED AND NAILED AS EDGES PER ABOVE

CLIENT:
EL CAMINO LLC

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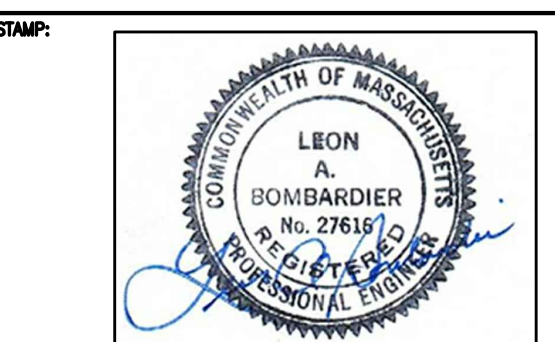
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email: bae05@verizon.net
phone: (508) 631-3332 fax: (781) 878-7986

PROJECT:
RESIDENCES
654 MYSTIC AVENUE
SOMERVILLE, MA

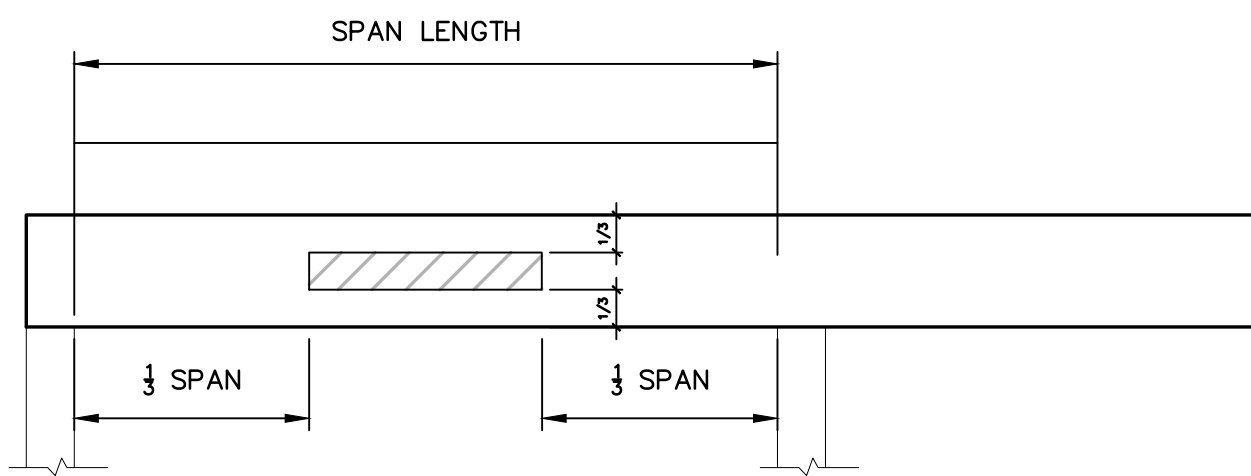
DRAWING TITLE:
SECTIONS &
DETAILS



APRIL 14, 2018

SCALE:
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PROJECT #:
2017-46

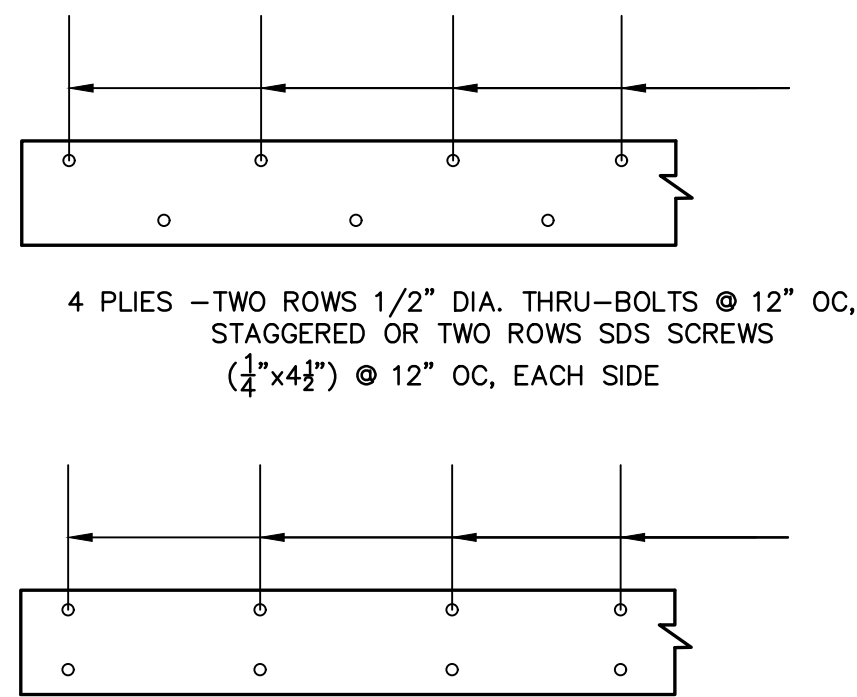
S-3



ALLOWABLE HOLES IN BOISE VERSA-LAM BEAMS HOLE CUTTING NOTES:

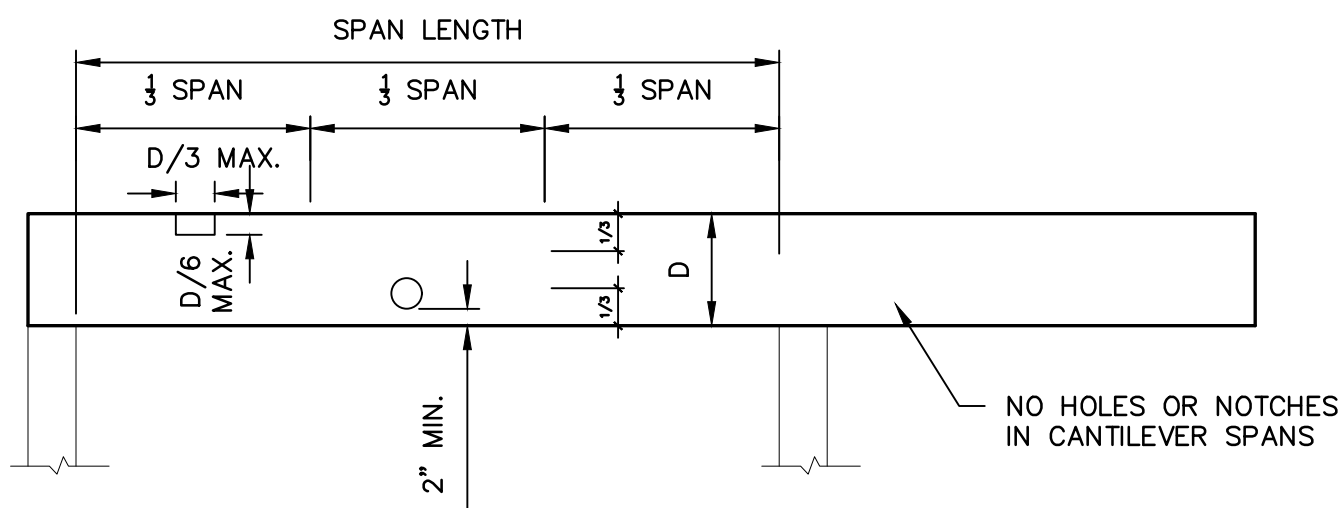
1. SQUARE OR RECTANGULAR HOLES NOT PERMITTED
2. ROUND HOLES MAY BE DRILLED OR CUT WITH WITH A HOLE SAW ANYWHERE WITHIN THE SHADED AREA
3. THE HORIZONTAL DISTANCE BETWEEN ADJACENT HOLES MUST BE AT LEAST TWO TIMES THE SIZE OF THE LARGER HOLE
4. DO NOT DRILL MORE THAN THREE ACCESS HOLES IN ANY FOUR FOOT LONG SECTION OF BEAM.
5. THE MAXIMUM ROUND HOLE DIAMETER PERMITTED IS 2".
6. FOR LARGER HOLES CONTACT BOISE ENGINEERED WOOD PRODUCT ENGINEERING.

LVL – ALLOWABLE HOLES



- 2 PLIES –TWO ROWS 16d SINKER NAILS OR SDS SCREWS ($\frac{1}{4}$ "x $3\frac{1}{2}$ ") @ 12" OC,
- 3 PLIES –TWO ROWS 16d SINKER NAILS OR SDS SCREWS ($\frac{1}{4}$ "x $3\frac{1}{2}$ ") @ 12" OC, TWO ROWS, EACH SIDE

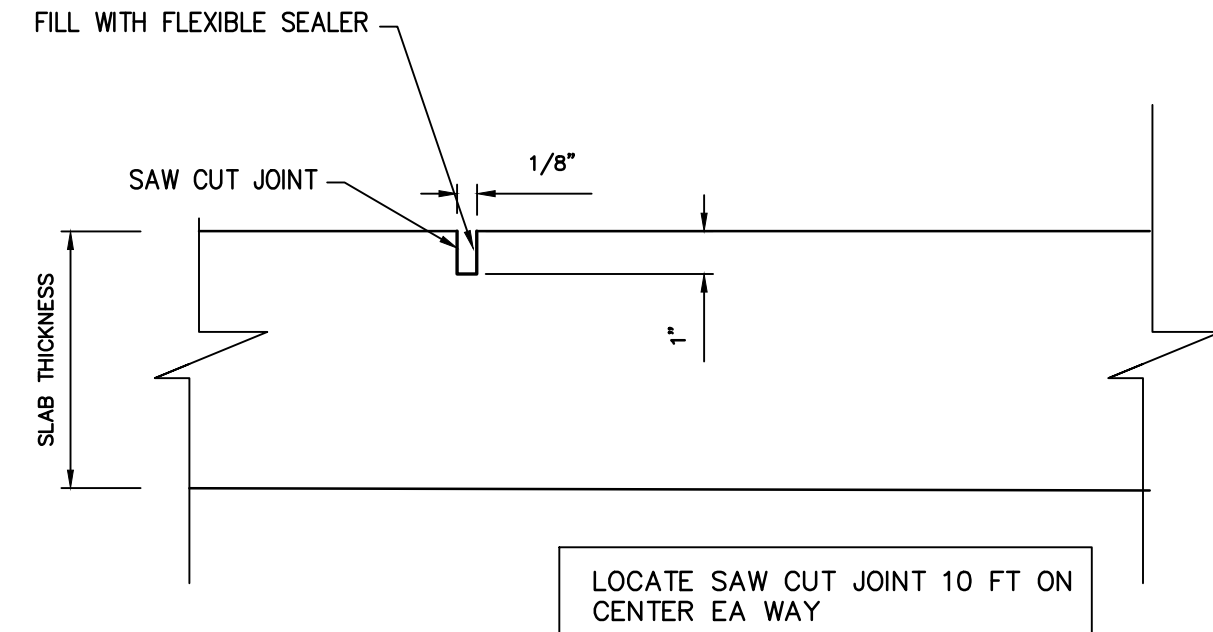
MULTIPLE MEMBER FASTENING SIDE AND TOP LOADED LVL



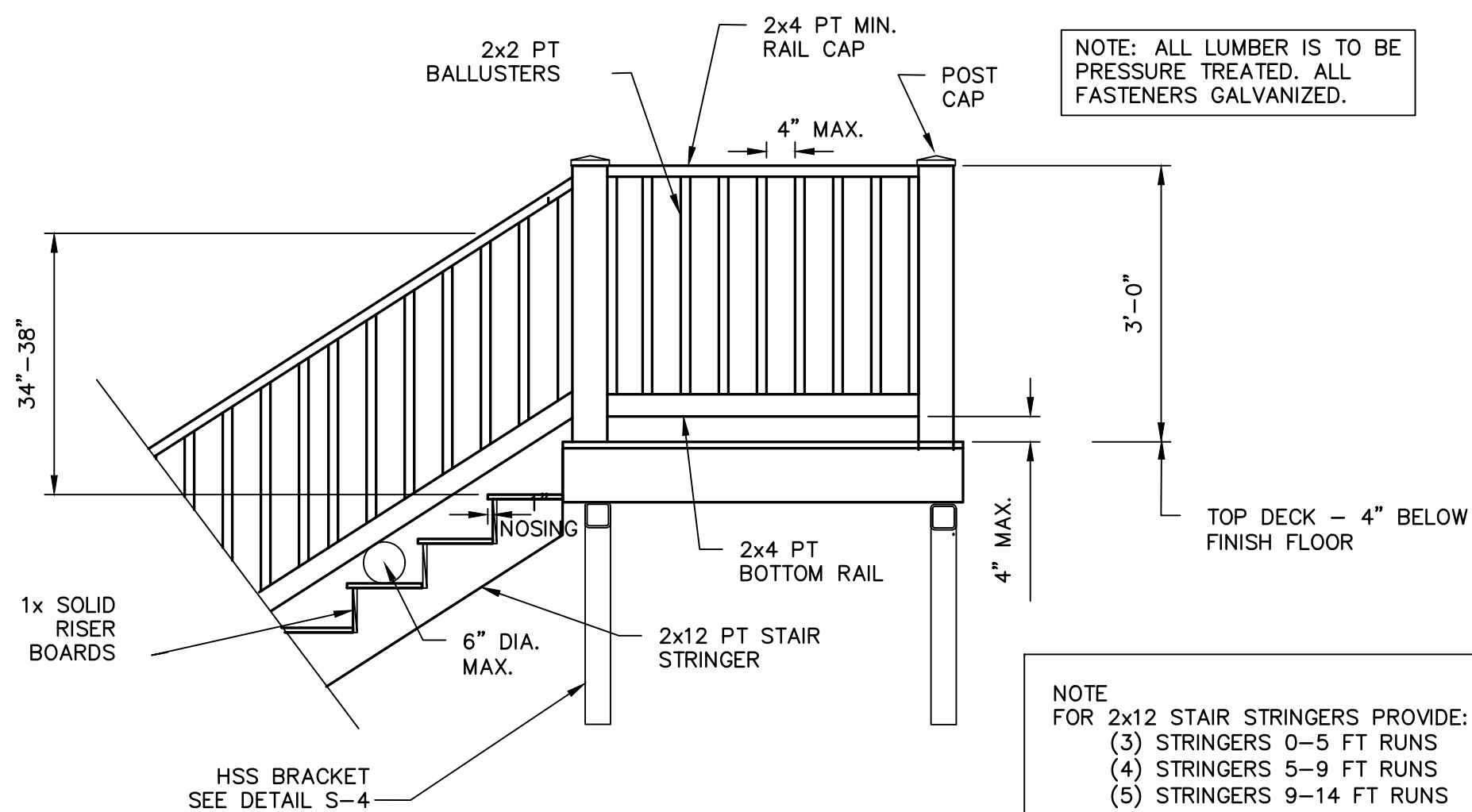
PER IBC 2803.8:

1. ROUND HOLES MAY BE DRILLED OR CUT WITH WITH A HOLE SAW ANYWHERE ALONG THE BEAM A MINIMUM OF 2 INCHES FROM TOP AND BOTTOM OF JOIST
2. THE HORIZONTAL DISTANCE BETWEEN ADJACENT HOLES MUST BE AT LEAST TWO TIMES THE SIZE OF THE LARGER HOLE.
3. THE MAXIMUM ROUND HOLE DIAMETER PERMITTED IS $\frac{1}{3}$ THE DEPTH OF THE JOIST
4. RECTANGULAR NOTCHES MAY BE CUT AT THE $\frac{1}{3}$ LENGTHS AT END SPANS OF THE JOIST.
5. MAX LENGTH OF NOTCH $\frac{1}{2}$ DEPTH OF JOIST AND MAXIMUM DEPTH OF NOTCH $\frac{1}{3}$ DEPTH OF JOIST

ALLOWABLE HOLES IN SOLID LUMBER JOISTS

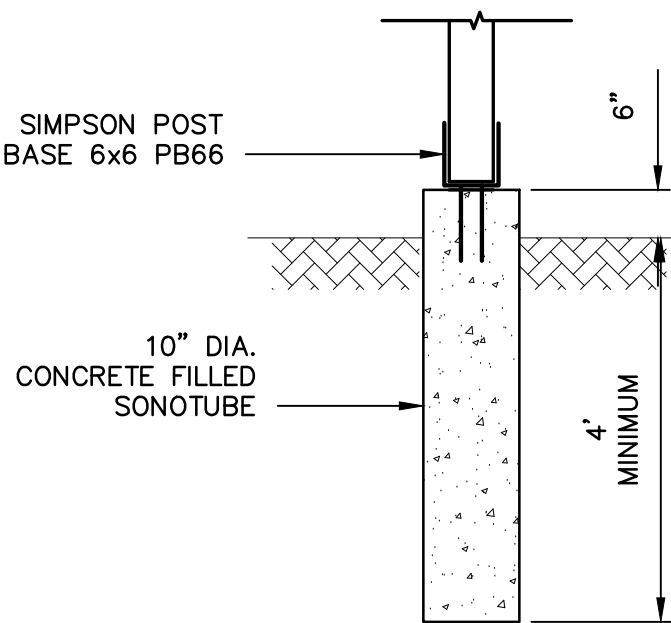


SLAB ON GRADE SAW CUT DETAIL SCALE: 3/8"=1'-0"



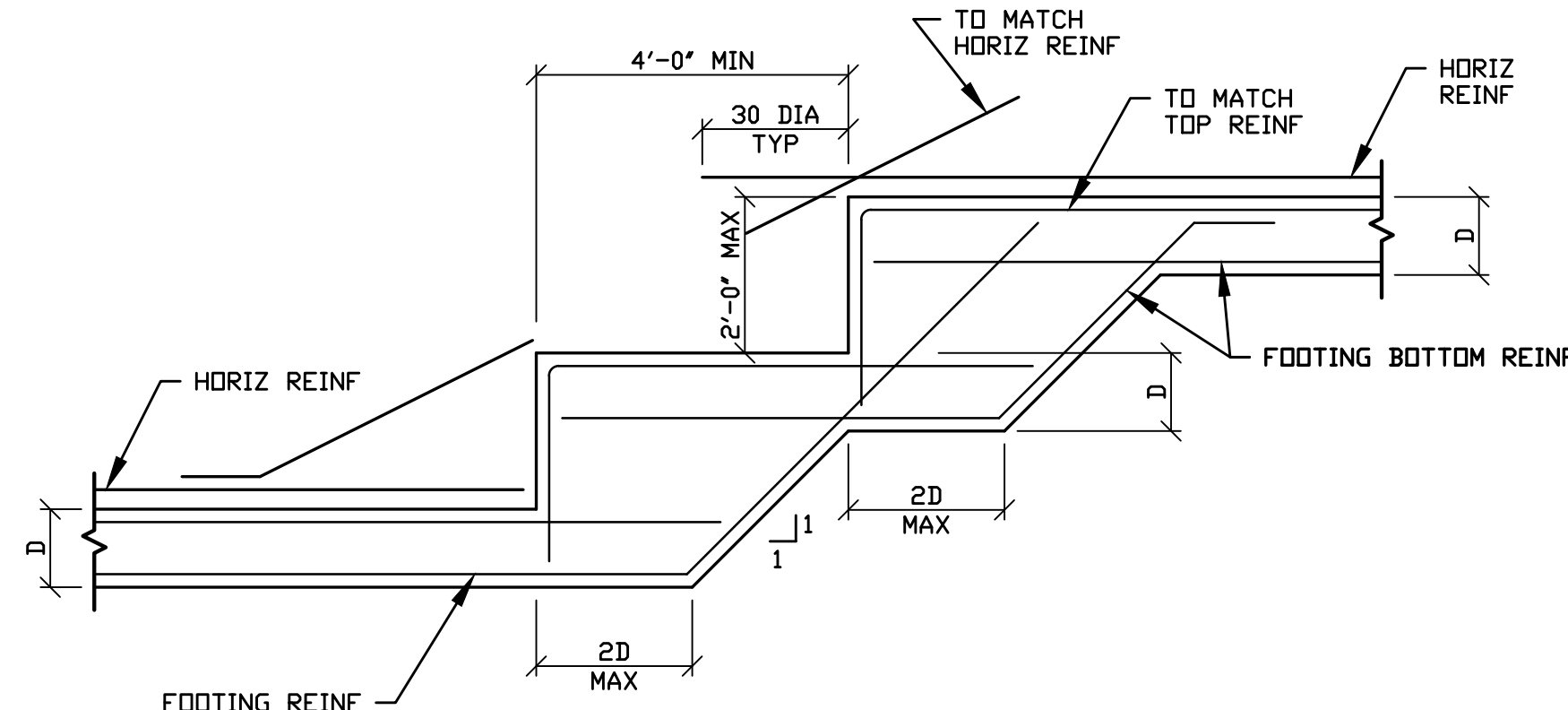
TYPICAL STAIR & PLATFORM RAILING

SCALE: 1/2"=1'-0"

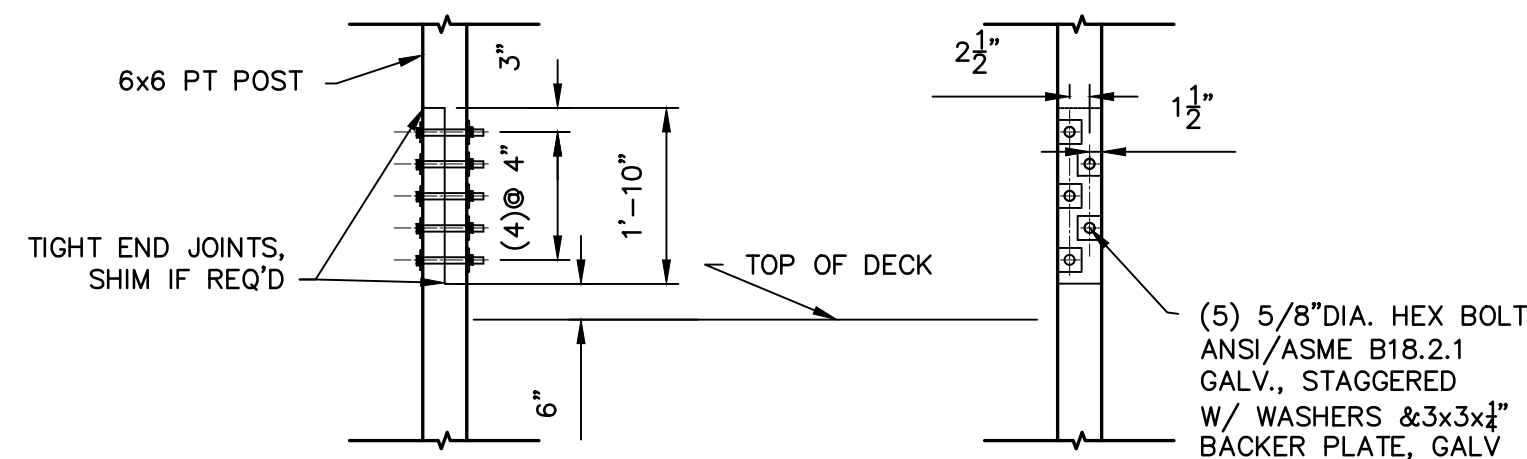


SONOTUBE FOUNDATION DETAIL

SCALE: 1/2"=1'-0"



TYPICAL ELEVATION OF STEPPED WALL FOOTING



POST SPLICE DETAIL

SCALE: 1/2"=1'-0"

FASTENER SCHEDULE *

$\frac{1}{2}$ " ROOF SHEATHING	6" OC –INTERMEDIATE SUPPORTS 4" OC –48" FROM EDGES & EAVES 8d COMMON NAILS
$\frac{1}{2}$ " WALL SHEATHING	12" OC –INTERMEDIATE SUPPORTS 6" OC –48" FROM EDGES & EAVES 6d COMMON NAILS
$\frac{3}{4}$ " FLOOR SHEATHING OR LESS	12" OC –INTERMEDIATE SUPPORTS 6" OC –48" FROM EDGES $\frac{1}{2}$ " RING OR SCREW NAIL (.099") 12 $\frac{1}{2}$ GA.
JOISTS TO SILL OR GIRDER	TOE NAIL (3) 8d NAILS
STUD TO SOLE PLATE	TOE NAIL (3)8d OR (2)16d NAILS
DOUBLE STUDS	FACE NAIL 10d 24" O.C.
DOUBLE TOP PLATES	FACE NAIL 10d 24" O.C. 24" MIN. OFFSET OF END JOINTS/LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL (2)–10d
RIM JOIST TO TOP PLATE	TOE NAIL 8d 6" O.C.
BUILT–UP HEADER	TWO PIECES WITH $\frac{1}{2}$ " SPACER 16d 16" O.C. TO STUD: TOE NAIL (4) 8d
CEILING JOIST	LAPS OVER PARTITIONS AND PARALLEL TO RAFTERS: FACE NAIL (3) 10d TO PLATE: TOE NAIL (3) 8d
RAFTER TO PLATE	TOE NAIL (2) 16d
BUILT–UP CORNER STUDS	10d 24" O.C.

* FOR COMPLETE TABLE SEE 780 CMR TABLE 5602.3(1)

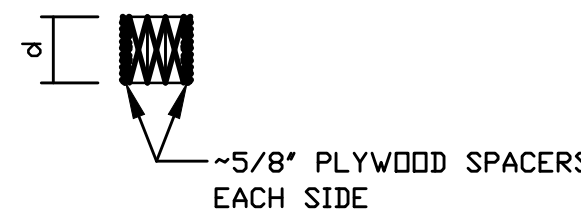
HEADER SCHEDULE AT INTERIOR BEARING WALLS (UNLESS OTHERWISE NOTED ON DRAWINGS)									
SPAN	SUPPORTING ROOF			SUPPORTING ROOF+ 1 FLOOR			SUPPORTING ROOF+ 2 FLOORS		
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB
0'-0" TO 3'-0"	3-2x6	2-2x6	1-2x6	3-2x8	2-2x6	1-2x6	3-2x8	2-2x6	1-2x6
3'-1" TO 5'-0"	3-2x10	2-2x6	1-2x6	3-2x12	2-2x6	1-2x6	3-2x12	2-2x6	3-2x6
5'-1" TO 8'-0"	3-2x12	2-2x6	1-2x6	3-1 3/4X 7 1/4" LVL	2-2x6	2-2x6	3-1 3/4X 9 1/2" LVL	3-2x6	3-2x6
8'-1" TO 10'-0"	3-2x12	2-2x6	1-2x6	3-1 3/4X 14" LVL	2-2x6	2-2x6	3-1 3/4X 18" LVL	3-2x6	3-2x6

HEADER SCHEDULE AT EXTERIOR BEARING WALLS (UNLESS OTHERWISE NOTED ON DRAWINGS)									
SPAN	SUPPORTING ROOF			SUPPORTING ROOF+ 1 FLOOR			SUPPORTING ROOF+ 2 FLOORS		
	HEADER	JACK	JAMB	HEADER	JACK	JAMB	HEADER	JACK	JAMB
0'-0" TO 3'-0"	3-2x6	2-2x6	1-2x6	3-2x8	2-2x6	1-2x6	3-2x8	2-2x6	1-2x6
3'-1" TO 5'-0"	3-2x10	2-2x6	1-2x6	3-2x12	2-2x6	2-2x6	3-2x12	2-2x6	3-2x6
5'-1" TO 8'-0"	3-2x12	2-2x6	2-2x6	3-1 3/4X 7 1/4" LVL	2-2x6	2-2x6	3-1 3/4X 9 1/2" LVL	3-2x6	3-2x6
8'-1" TO 10'-0"	3-2x12	2-2x6	2-2x6	3-1 3/4X 9 1/2" LVL	2-2x6	2-2x6	3-1 3/4X 11 7/8" LVL	3-2x6	3-2x6

LVL EQUIVALENTS:

- (3)-2x6 =(1) 1 $\frac{3}{4}$ "x7 $\frac{1}{4}$ " LVL
- (3)-2x8 =(1) 1 $\frac{3}{4}$ "x7 $\frac{1}{4}$ " LVL
- (3)-2x10 =(1) 1 $\frac{3}{4}$ "x9 $\frac{1}{2}$ " LVL
- (3)-2x12 =(1) 1 $\frac{3}{4}$ "x11 $\frac{1}{8}$ " LVL
- (3)-1 $\frac{3}{4}$ "x7 $\frac{1}{4}$ " =(2) 1 $\frac{3}{4}$ "x9 $\frac{1}{2}$ " LVL
- (3)-1 $\frac{3}{4}$ "x9 $\frac{1}{2}$ " =(2) 1 $\frac{3}{4}$ "x11 $\frac{1}{8}$ " LVL
- (3)-1 $\frac{3}{4}$ "x11 $\frac{1}{8}$ " =(2) 1 $\frac{3}{4}$ "x14" LVL

NOTE: HEADERS AT FLOOR LEVELS ARE SIZED ASSUMING OPENING ABOVE IS EQUAL OR LARGER THAN OPENING IN QUESTION



TYPICAL BUILT UP HEADER

CLIENT:

EL CAMINO LLC

DRAWING NOTES:

1. EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
2. THESE PLANS AND SPECIFICATIONS ARE ARE THE PROPERTY OF LEON A. BOMBARDIER, PE ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ARCHITECT:



KHALSA DESIGN INC
SOMERVILLE, MA

BOMBARDIER STRUCTURAL ENGINEERING

#	REVISIONS	DATE

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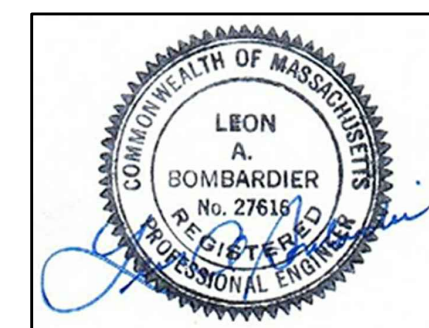
PROJECT:

RESIDENCES
654 MYSTIC AVENUE
SOMERVILLE, MA

DRAWING TITLE:

SECOND, THIRD & ROOF FRAMING PLANS & DETAILS

STAMP:



APRIL 14, 2018

SCALE:
AS NOTED

DATE:
4/14/2018

DRAWN BY:
LAB

CHECKED BY:
LAB

PROJECT #:
2017-46

S-4

GENERAL

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE (780 CMR) NINTH EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS AFFECTING THE WORK. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN, IN THE COURSE OF THE WORK, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.
4. STRUCTURAL MATERIALS AND COMPONENTS SHALL HAVE PRIOR APPROVAL OF THE ENGINEER. MATERIAL SAMPLES OR CERTIFICATES AND INSTALLATION SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL PARTS OF THE WORK FOR APPROVAL, ALLOWING SUFFICIENT TIME FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
5. ENGINEER WILL PERIODICALLY OBSERVE STRUCTURAL ELEMENTS TO ASSURE GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
6. MODIFICATIONS TO THE WORK SHALL NOT BE PERFORMED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
7. STRUCTURAL CONSTRUCTION SHALL BE PRECEDED BY ADEQUATE SHORING AND TEMPORARY BRACING UNTIL ALL MEMBERS ARE PLACED AND TRUE TO PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.
8. THE CONTRACTOR SHALL EXAMINE ALL ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS (INCLUDING OWNER FURNISHED EQUIPMENT DRAWINGS) FOR VERIFICATION, LOCATION, AND DIMENSIONS OF EMBEDDED ITEMS, SLEEVES, CHASES, INSERTS, WASHES, DRIPS, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS EFFECTING THE STRUCTURAL WORK.
10. OPENINGS SHOWN ON DRAWINGS SHALL NOT BE REVISED OR NEW OPENINGS ADDED TO THE WORK WITHOUT PRIOR APPROVAL OF THE ENGINEER
11. TYPICAL DETAILS AND NOTES ON THE STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK.

TESTING BY CERTIFIED TESTING AGENCIES

1. COMPACTION TESTS SHALL BE CONDUCTED ON ALL FILL MATERIAL PLACED UNDER THE BUILDING FOUNDATIONS OR FLOOR SLABS AND SUBMITTED TO THE ENGINEER FOR REVIEW.
2. CONCRETE CYLINDERS SHALL BE TAKEN FOR EVERY DAYS POUR AND FOR EVERY 50 YARDS PLACED PER DAY. CYLINDERS SHALL BE A MINIMUM OF THREE, COMPRESSION TESTED AT 7 AND 28 DAYS.
3. REINFORCING STEEL, STRUCTURAL STEEL BOLTING, AND ALL WELDING SHALL BE VISUALLY INSPECTED. IF REQUIRED, BY THE INSPECTION AGENCY ADDITIONAL TESTING WILL BE CONDUCTED.

SHOP DRAWINGS

1. SUBMIT SHOP DRAWINGS, REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR, FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND ARCHITECT FOR APPROVAL BEFORE FABRICATION, MANUFACTURE, DELIVERY AND ERECTION CAN PROCEED.
2. CALCULATIONS SHALL BE SUBMITTED FOR STEEL CONNECTIONS.

STRUCTURAL DESIGN LOADS (SOMERVILLE)

1. SNOW LOADS 40 PSF GROUND SNOW
30 PSF FLAT ROOF SNOW
2. WIND LOADS BASIC WIND SPEED Vultimate 127 MPH
RISK CATEGORY II
3. SEISMIC DESIGN
SOIL FACTOR S1=0.070, Ss=0.218
SEISMIC HAZARD EXPOSURE GROUP I
SEISMIC PERFORMANCE CATEGORY C
BUILDING STRUCTURE IS LIGHT WOOD FRAMED BEARING WALL SYSTEM WITH WOOD HORIZONTAL DIAPHRAGMS AND WOOD SHEAR WALLS. RESPONSE MODIFICATION FACTOR R=6.5, DEFLECTION AMPLIFICATION FACTOR Cd=4.0 ON CONCRETE FOOTINGS AND GRADE WALLS.
4. LIVE LOADS
SLAB-ON-GRADE.....50 PSF
UNITS40 PSF
UNIT DEDICATED DECKS.....60 PSF
COMMUNAL LOBBIES, STAIRS, DECKS100 PSF

GEOTECHNICAL ENGINEERING

1. NO GEOTECHNICAL ENGINEERING REPORT WAS AVAILABLE DURING THE DESIGN AND PREPARATION OF THESE DRAWINGS. SUBSURFACE SOIL CONDITIONS ARE UNKNOWN. ALLOWABLE BEARING PRESSURE IS ASSUMED TO BE 2,000 PSF AS APPLICABLE FOR LOOSE SANDS & GRAVELS, SILT, AND MEDIUM CLAYEY SOILS. EXISTING SOILS HAVE BEEN ASSUMED TO BE SUITABLE FOR GRADE WALL AND ISOLATED COLUMN FOOTING FOUNDATIONS.
2. IT IS THE OWNER'S RESPONSIBILITY TO RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO CONFIRM FOUNDATION TYPE, SOIL BEARING PRESSURE, AND GROUNDWATER ELEVATIONS.

FOUNDATIONS

1. EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN BELOW FINISHED EXTERIOR GRADE TO A MINIMUM DEPTH OF 4'-0", UNLESS OTHERWISE NOTED.
2. NO SOIL EXPLORATION OR TESTING HAS BEEN PERFORMED ON SITE. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF TO BE CONFIRMED BY THE CONTRACTOR AND/OR OWNER PRIOR TO CONSTRUCTION.
3. SURFACE AND SUBSURFACE WATER SHALL BE CONTROLLED DURING CONSTRUCTION TO ENSURE THAT ALL FOUNDATION CONCRETE WORK IS DONE IN DRY CONDITIONS. IF REQUIRED, PROVIDE SHEETING, WELL POINTS, AND/OR DE-WATERING WELLS AS REQUIRED FOR PROPER EXCAVATION AND PLACEMENT OF CONCRETE.
4. CONCRETE SHALL BE PLACE ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL MATERIALS, APPROVED BY THE ENGINEER.
5. NO FOUNDATION CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN SUB-GRADE MATERIAL.
6. IN-PLACE FOUNDATIONS AND SLABS SHALL BE PROTECTED FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.

1. REMOVAL OF DISTURBED AND UNSUITABLE MATERIALS AND PLACING, COMPACTING AND TESTING OF COMPACTED FILL SHALL ONLY BE PERFORMED BY THE GENERAL CONTRACTOR WHILE A PROFESSIONAL GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF MASSACHUSETTS AND RETAINED BY THE OWNER, IS OBSERVING THE WORK.
9. BOTTOM OF FOOTING ELEVATIONS SHOWN ON THE CONTRACT DOCUMENTS ARE MINIMUM DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE AMOUNT OF EXCAVATION NECESSARY TO REACH A SUFFICIENT BEARING STRATUM.

SHORING AND BRACING

1. THE OWNER AND HIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SHORING AND BRACING OF EXCAVATIONS, FOUNDATIONS, AND ALL CONSTRUCTION IN THE WORK.
2. TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL LOADS BEING CARRIED BY EXISTING STRUCTURE MEMBERS AND THEIR FOUNDATIONS BEING REMOVED, ALTERED, AND/OR UNDERMINED BY THE WORK.

EARTHWORK AND COMPACTED FILL

1. FOLLOWING EXCAVATION TO FOOTING BEARING ELEVATION, THE EXPOSED SOIL SHALL BE SURFACE COMPACTED WITH A LEAST 6 PASSES OF A WALK BEHIND VIBRATORY ROLLER HAVING A DYNAMIC FORCE RATED NOT LESS THAN 10,000 POUNDS (MIKASA MVH-306 OR EQUIVALENT)
2. BEFORE PLACEMENT OF CONCRETE FLOOR SLAB ON GRADE, THE SOIL SHALL BE SURFACE SHALL BE PROOF ROLLED WITH A LEAST 6 PASSES OF A LARGE VIBRATORY ROLLER HAVING A DRUM WEIGHT OF AT LEAST 10,000 POUNDS AND A DYNAMIC FORCE OF AT LEAST 20,000 POUNDS.
3. STRUCTURAL FILL, OVER-EXCAVATED, UNSUITABLE, OR DISTURBED SOIL SHOULD BE REPLACED WITH "SELECT STRUCTURAL FILL" AND COMPACTED IN INDIVIDUAL LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. LOOSE LIFT THICKNESS SHALL BE 6 INCHES FOR HAND OPERATED EQUIPMENT AND 12 INCHES FOR LARGE VIBRATORY ROLLERS.

4. "SELECT STRUCTURAL FILL" SHALL BE GRAVELLY SAND OR SANDY GRAVEL, GRADED WITHIN FOLLOWING LIMITS:

SIEVE SIZE IN. OR NO.	PERCENT PASSING BY WEIGHT
1/2	50-85
#4	40-75
#10	30-60
#40	10-35
#100	5-20
#200	0-8

5. COMPACTION TESTS SHALL BE PERFORMED ON ANY STRUCTURAL FILL TO BE PLACED IN THE FOUNDATION AND SLAB ON GRADE AREA. A MINIMUM OF TWO TESTS PER 6" LIFT SHALL BE PERFORMED. A SUFFICIENT SAMPLE OF FILL MATERIAL SHALL BE SUPPLIED TO THE TESTING AGENCY.

COLD WEATHER EARTHWORK PROTECTION

1. ALL FOUNDATIONS EXPOSED TO FREEZING TEMPERATURES WILL BE INSTALLED 4 FEET BELOW FINAL GRADE FOR FROST PROTECTION.
2. DURING CONSTRUCTION EARTHWORK THE CONTRACTOR MUST BE PREPARED TO PROVIDE PROTECTION AND/OR THAWING OF FOUNDATION BEARING SOILS AGAINST FREEZING BEFORE ANY FILL AND/OR PLACEMENT OF THE SLAB BASE IS COMPLETED
- A. FOOTINGS: INSULATION BLANKETS AND/OR GROUND HEATING HOSES SHOULD BE UTILIZED IF FOOTING SUBGRADE IS EXPOSED TO FREEZING DURING COLD WEATHER PERIODS.
- B. LOWEST LEVEL SLABS: SLAB SUBGRADE AREAS SHALL BE THAWED ONCE BASIC FRAMING IS UP BY PROVIDING HEATERS AFTER ENCLOSING THE LOWEST LEVEL IN PLASTIC SHEETING.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI-301).
2. ALL STRUCTURAL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE NORMAL WEIGHT (145 PCF) AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF:
- A) SLAB ON GRADE, SPREAD FOOTINGS, AND FOUNDATION WALLS = 3,500 PSI
3. CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, MIXED AND PLACED IN THE PRESENCE OF A REPRESENTATIVE OF AN APPROVED TESTING AGENCY, AS REQUIRED BY STATE CODE. TEST CYLINDERS SHALL BE TAKEN AT A MINIMUM OF 4 FOR EVERY DAYS CONCRETE PLACEMENT AND FOR EVERY 50 YARDS PLACED THAT DAY.
4. ALL CONCRETE EXPOSED TO WEATHER, INCLUDING FOUNDATION WALLS, SHALL BE AIR ENTRAINED.
5. CONSTRUCTION JOINTS SHALL BE LOCATED AS SHOWN ON DRAWINGS. REQUEST FOR ANY CHANGE SHALL BE IN WRITING TOGETHER WITH DRAWING INDICATING LOCATIONS FOR ENGINEER'S APPROVAL.
6. CONCRETE PLACEMENTS SHALL BE LIMITED TO THE FOLLOWING:
- A) FOOTINGS AND WALLS 30 FOOT LENGTH MAXIMUM TO CONSTRUCTION JOINT
B) SLABS ON GRADE 30 FOOT MAXIMUM PANEL DIMENSION
7. ADJACENT CONCRETE PLACEMENTS SHALL BE AFTER 72 HOURS OF CURING TIME.
8. HORIZONTAL CONSTRUCTION JOINTS SHALL BE LOCATED ONLY WHERE SHOWN ON DRAWINGS OR AS APPROVED BY THE ENGINEER.
9. CONCRETE SLABS SHALL BE PLACED WITH A UNIFORM SLAB THICKNESS AS SHOWN ON THE DRAWINGS.
10. MINIMUM PROTECTIVE COVER FOR CONCRETE REINFORCING STEEL SHALL BE AS FOLLOWS:
- A) UNFORMED SURFACES CAST AGAINST EARTH - 3 INCHES
B) FORMED SURFACES NOT IN CONTACT TO EARTH - 3/4 INCHES
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#11 BARS OR SMALLER
C) FORMED SURFACES IN CONTACT TO EARTH
OR EXPOSED TO WEATHER, WALLS AND SLABS,
#6 TO #18 BARS - 2 INCHES
#5 AND SMALLER - 1 1/2 INCHES

COLD WEATHER CONCRETE WORK

1. COLD WEATHER CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) 306.
2. COLD WEATHER CONCRETE PROCEDURES SHALL BE EMPLOYED WHEN THERE IS A CHANCE OF FREEZING TEMPERATURES WITHIN 24 HOURS OF PLACEMENT AND/OR MEAN DAILY TEMPERATURE LESS THAN 40 DEGREES FAHRENHEIT, AND DURING PERIODS OUTLINED IN ACI 306, SECTIONS 1.3 AND 1.4.
3. DETAILS OF HANDLING AND PROTECTING CONCRETE DURING COLD WEATHER SHALL BE SUBJECT TO ENGINEERS' APPROVAL AND DIRECTION.
4. CONCRETE SHALL NOT BE PLACED ON ICE, SNOW, OR FROZEN GROUND. FROZEN MATERIAL AND MATERIAL CONTAINING ICE SHALL NOT BE EMPLOYED IN CONCRETE.
5. CONCRETE AFTER PLACING SHALL BE PROTECTED BY COVERING, HEATING, OR BOTH. CONCRETE SHALL BE MAINTAINED AT TEMPERATURE EQUAL TO 50 TO 70 DEGREES FAHRENHEIT (10 TO 21 DEGREES CENTIGRADE) FOR REQUIRED CURING PERIOD AND AS INDICATED IN ACI 306, TABLE 1.4.1.
6. ARRANGEMENTS FOR HEATING, COVERING, INSULATING, HOUSING, AND CURING SHALL BE MADE IN ADVANCE OF CONCRETE PLACEMENT.
7. COMBUSTION HEATERS SHALL BE VENTED TO PREVENT EXPOSURE OF CONCRETE TO EXHAUST GASES CONTAINING CARBON DIOXIDE.
8. TEMPERATURE RECORDS SHALL BE MAINTAINED THROUGHOUT CONCRETE PLACEMENT PERIOD DURING COLD WEATHER, LISTING AIR TEMPERATURE INSIDE AND OUTSIDE ENCLOSURE, GENERAL WEATHER CONDITIONS (CALM, WINDY, CLEAR, CLOUDY, ETC.), AND RELATIVE HUMIDITY.

FIBER MESH CONCRETE

1. CONCRETE SHALL BE SYNTHETIC FIBER-REINFORCED PORTLAND CEMENT CONCRETE PER AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C1116 STANDARD SPECIFICATION FOR FIBER-REINFORCED CONCRETE, LATEST EDITION.
2. FIBER MESH SHALL FORTA-FERRO® BE BY THE FORTA CORPORATION, 100 FORTA DRIVE, GROVE CITY, PA 16127 (800) 245-0306 OR APPROVED EQUAL.
3. ADD FIBER REINFORCEMENT AT DOSAGE 3.0 LBS/CY FOR TEMPERATURE AND SHRINKAGE REINFORCEMENT.

SLAB ON GRADE SAW CUT JOINTS

1. SLABS SHALL BE SAW CUT WITH 24 HOURS OF PLACEMENT OF CONCRETE.

2. JOINTS SHALL BE CLEANED AND FILLED WITH BASF SONOLASTIC SL1, A ONE-COMPONENT SELF-LEVELING NON-PRIMING POLYURETHANE SEALANT DESIGNED FOR JOINTS IN CONCRETE FLOORS TO PROVIDE FLEXIBILITY AS WELL AS ABRASION AND PUNCTURE RESISTANCE.

CONCRETE SLAB SEALER

1. CONCRETE SLABS ON GRADE SHALL RECEIVE A SLAB SEALER AND CURING COMPOUND.
2. CONCRETE SEALER SHALL BE WATERBASED HARDENER, SEALER KURSEAL 309 FORMULA BY A. H. HARRIS AND SONS, RAYNHAM, MA.

CONCRETE AND MASONRY REINFORCING

1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
2. ALL WELDED WIRE MESH (WWF) SHALL BE SMOOTH BARS CONFORMING TO ASTM A185. OVER TWO OR MORE SPANS. LAPS OF INDIVIDUAL SHEET SHALL BE 8" MINIMUM.

STRUCTURAL STEEL

1. ALL STEEL SHALL BE NEW STEEL AND PRIMED, CONFORMING TO THE FOLLOWING ASTM DESIGNATIONS:
- A. SHAPES, PLATES, FITTINGS AND RODS; GRADE 50. FY MIN. = 50 KSI.
B. ANCHOR BOLTS; F1554 GRADE 36 OR GRADE 55 SUPPLEMENT 1 BOLTS -1" DIA. WITH STANDARD NUTS AND HARDENED WASHERS.
C. HSS MEMBERS AND TUBES; A500 GRADE B, FY = 46 KSI.
D. STRUCTURAL STEEL PIPE COLUMNS SHALL BE STANDARD GRADE PIPE.
E. EXPANSION AND EPOXY BOLTS AND SLEEVE ANCHORS; AS MANUFACTURED BY "HILTI CORPORATION"
F. GALVANIZING; HOT-DIPPED A123.
G. SHOP PRIMER; TNEMEC SERIES 10, COLOR GRAY.
2. ALL STEEL EXPOSED TO WEATHER OR MOISTURE, INCLUDING BUT NOT LIMITING TO: LINTELS, BOLTS, NUTS, WASHERS, BOLLARDS, SILL ANGLES, JAMBS AND STEEL EMBEDDED IN EXTERIOR MASONRY OR CONCRETE, SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
3. CONNECTIONS TO BE DESIGNED FOR ONE HALF OF THE UNIFORM LOAD CAPACITY OF THE BEAM AND MOMENT CONNECTIONS FOR THE FULL MOMENT CAPACITY OF THE BEAM.
4. ANCHOR BOLTS, LEVELING PLATES, OR BEARING PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRESET BY TEMPLATES OR SIMILAR METHODS.
5. PLATES SHALL BE SET IN FULL BEDS OF NON-SHRINK GROUT.
6. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:
- A) MINIMUM BOLT DIAMETER SHALL BE 3/4 INCH DIAMETER.
B) STANDARD HOLES IN WEBS OR BEAMS.
C) EXCEPT WHERE SHOWN ON THE DRAWINGS ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE BEARING TYPE CONNECTIONS WITH HIGH STRENGTH BOLTS (THREADS INCLUDED IN SHEAR PLANE) AND HARDENED WASHERS.
7. WELDING WORK SHALL CONFORM TO THE AMERICAN WELDING SOCIETY (AWS) "STRUCTURAL WELDING CODE FOR STEEL" (AWS D1.1).
8. WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E70XX.
9. WELDS SHALL DEVELOP THE FULL STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE, EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM OF 3/16 INCHES.
10. PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION UNTIL PERMANENT BRACING AND MASONRY WALLS ARE INSTALLED.
11. PROTECT SURROUNDING MATERIALS AND FINISHES BY USE OF PROTECTIVE BLANKETS WHEN PERFORMING HOT WORK SUCH AS CUTTING AND WELDING OF STEEL.

STEEL DECK

1. STEEL DECK SHALL CONFORM TO THE "SPECIFICATIONS FOR DESIGN OF LIGHT GAGE COLD-FORMED STEEL STRUCTURAL MEMBERS (AISJ)", "SPECIFICATION FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (AISC)", "STRUCTURAL WELDING CODE-STEEL (AWS D1.1)" AND "STRUCTURAL WELDING CODE- SHEET METAL (AWS D1.3)"
2. STEEL DECK SHALL CONFORM TO ASTM A446 GRADE A. COMPOSITE FLOOR DECK SHALL BE 2" DEEP, 18 GAGE GALVANIZED. STEEL DECK SHALL SUPPORT THE WEIGHT OF WET CONCRETE WITHOUT ADDITIONAL SHORING.
3. WELD STEEL DECK TO SUPPORTS WITH 5/8" DIA. PUDDLE WELDS AT 6" OC. FASTEN SIDE LAPS AT MID-SPAN BETWEEN SUPPORTS WITH #10 SELF TAPPING (TEK) SCREWS.

WOOD FRAMING

1. ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES:
- A. JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1& NO.2 GRADE.
B. SILLS AND PLATES; STUD GRADE.
C. SOLID WOOD POSTS; NO. 1 GRADE.
D. BRIDGING, BLOCKING AND NAILERS; STUD GRADE.
E. NON-BEARING STUD WALLS SHALL BE STUD GRADE.
F. ENGINEERED LUMBER SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 2,000,000 PSI AND A BENDING STRESS OF 3,100 PSI FOR BEAMS AND A MINIMUM MODULUS OF ELASTICITY OF 1,700,000 PSI AND A BENDING STRESS OF 2,650 PSI FOR COLUMNS. LVL BEAMS AND PSL COLUMNS SHALL BE BOISE CASCADE VERSALAM OR EQUAL.
2. UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH TABLE 2305.2, FASTENING SCHEDULE, MASSACHUSETTS STATE BUILDING CODE. SHEAR WALL FASTENING SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE ON THE DRAWINGS.
3. WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE "AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1".
4. ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE. FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
5. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT- DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATIONS.
6. LEAD HOLES FOR WOOD SCREWS AND LAG BOLTS SHALL BE DRILLED 7/8 OF THE SHANK DIAMETER FOR THE DEPTH OF SHANK EMBEDMENT AND 7/8 OF THE THREADED PORTION DIAMETER FOR THE DEPTH OF THE THREAD EMBEDMENT.
7. DOUBLE TOP PLATES ON ALL EXTERIOR AND BEARING PARTITIONS (NOT OTHERWISE DETAILED). PLATES SHALL LAP 4'-0" MINIMUM AND 8'-0" MAXIMUM AT SPLICES. AND HAVE (14) 16d NAILS MINIMUM THROUGH EACH SIDE OF SPLICE.

FLOOR AND WALL SHEATHING

1. EXTERIOR WALL AND SHEAR WALL SHEATHING SHALL BE A MINIMUM OF 15/32 INCH EXPOSURE 1, EXTERIOR SHEATHING, APA RATED SHEATHING 32/16. NAIL 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. SHEATHING MAY BE PLYWOOD, OSB, OR COMPOSITE MATERIAL. PLYWOOD SHEATHING SHALL BE DFPA GRADE STAMPED, TYPE CDS 5 PLY WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED ON PLANS.
2. SHEAR WALL SHEATHING SHALL BE A MINIMUM OF 15/32 INCH EXPOSURE 1, EXTERIOR APA RATED SHEATHING 32/16. FASTENING SHALL BE PER THE SHEAR WALL FASTENING SCHEDULE ON THE DRAWINGS. SHEATHING MAY BE PLYWOOD, OSB, OR COMPOSITE MATERIAL. ALL SHEAR WALL SHEATHING EDGES SHALL BE BLOCKED AND NAILED PER THE SHEAR WALL SCHEDULE.
3. ALL ROOF SHEATHING SHALL BE 5/8 INCH APA RATED PLYWOOD SHEATHING 32/16. USE EXPOSURE 1 PANELS. EXCEPT USE EXTERIOR PANELS FOR STARTER STRIPS ALONG EAVES AND WHEN LONG CONSTRUCTION DELAYS ARE ANTICIPATED. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE RAFTERS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. ATTACH PANELS WITH GLUE AND 6d RING OR SCREW SHANK NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. AS AN OPTION, 3/4" SHEATHING MAY BE USED WITH PANEL CLIPS ALONG PANEL ENDS BETWEEN EACH RAFTER OR TRUSS.
4. ALL FLOOR SHEATHING SHALL BE 3/4 INCH TONGUE AND GROOVE, APA RATED "STURD-I-FLOOR", 48/24 SPAN RATING, EXPOSURE 1 PANELS. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS AND ATTACH PANELS BY GLUE-NAILING AS FOLLOWS:
- A. SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE.
- B. STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 1/8 INCH SPACE BETWEEN ALL END AND EDGE JOINTS, INCLUDING TONGUE AND GROOVE EDGES.
- C. COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS WITH 6d RING OR SCREW-SHANK NAILS AT 12 INCHES ON CENTER AT PANEL EDGES AND INTERMEDIATE SUPPORTS.

CLIENT:

EL CAMINO LLC

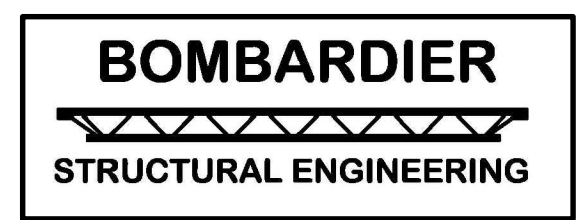
DRAWING NOTES:

1. EXISTING CONDITIONS MAY VARY FROM THOSE SHOWN. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
2. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF LEON A. BOMBARDIER, PE ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ARCHITECT:



KHALSA DESIGN INC
SOMERVILLE, MA



#	REVISIONS	DATE

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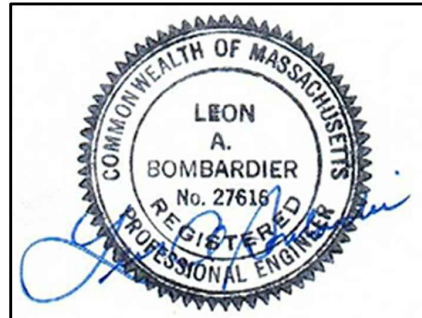
PROJECT:

RESIDENCES
654 MYSTIC AVENUE
SOMERVILLE, MA

DRAWING TITLE:

STRUCTURAL
NOTES

STAMP:



APRIL 14, 2018

SCALE
AS NOTED
DATE
4/14/2018
DRAWN BY:
LAB
CHECKED BY:
LAB
PROJECT #:
2017-46

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